

**ADDENDUM #1**  
**SCCOE RIDDER PARK IEEEP**  
**Bid # B 04-22-23**

**San Jose City Permits:**

**Building Permit # 22-672023**

**Grading Permit # 22-671584 GR (3-05719)**

**Off-site Permit # 22-665992**

SANTA CLARA COUNTY OFFICE OF EDUCATION

Prepared by Architect  
Artik Art and Architecture  
394-A Umbarger Road  
San Jose, CA 95127  
(408) 224-9890

This Addendum forms a part of the Contract Documents and modifies the original bidding documents dated 08/10/2023.

As noted below. Bidders must acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

**CHANGES TO THE DRAWINGS**

**Architectural:**

Item 1 Sheet A1.10

A. Refer to attached sheet A1.10 for revised overall site plan.

Item 2 Sheet A1.11

A. Refer to attached sheet A1.11 for revised keynote 26, and added keynote 30.

Item 3 Sheet A1.20

A. Refer to attached sheet A1.20 for revised 1<sup>st</sup> floor code plan.

Item 4 Sheet A2.31

A. Refer to attached sheet A2.31 for revised keynote 3.

## Item 5 Sheet A3.01

- A. Refer to attached sheet A3.01 for revised first floor plan.
- B. Refer to attached sheet A3.01 for revised keynotes 1-3.

## Item 6 Sheet A4.01

- A. Refer to attached sheet A4.01 for revised keynote 1.

## Item 7 Sheet A6.01

- A. Refer to attached sheet A6.01 for revised elevation 1/A6.01.
- B. Refer to attached sheet A6.01 for revised keynote 7, and added keynotes 17-19.

## Item 8 Sheet A8.01

- A. Refer to attached sheet A8.01 for revised enlarged plan 1/A8.01.
- B. Refer to attached sheet A8.01 for revised elevations 3A/A8.01 and 3C/A8.01.
- C. Refer to attached sheet A8.01 for added keynotes 6-9.

## Item 9 Sheet A8.03

- A. Refer to attached sheet A8.03 for revised keynote 3.

## Item 10 Sheet A8.07

- A. Refer to attached sheet A8.07 for revised enlarged plan 1/A8.07.
- B. Refer to attached sheet A8.07 for revised keynote 2, and added keynote 9.

## Item 11 Sheet A8.08

- A. Refer to attached sheet A8.08 for revised keynotes 2, 10, and 13-14.

## Item 12 Sheet A8.10

- A. Refer to attached sheet A8.10 for revised enlarged plan 1/A8.10.
- B. Refer to attached sheet A8.10 for revised elevations 3A/A8.10 and 3B/A8.10.
- C. Refer to attached sheet A8.10 for revised keynote 10, and added keynotes 11-12.

## Item 13 Sheet A8.11

- A. Refer to attached sheet A8.11 for revised enlarged plan 4/A8.11.
- B. Refer to attached sheet A8.11 for revised elevation 6A/A8.11.
- C. Refer to attached sheet A8.11 for added keynote 15.

## Item 14 Sheet A9.01

- A. Refer to attached sheet A9.01 for revised door hardware groups. Door hardware groups revised to have consistent numbering and descriptions with the specifications for door hardware. Added door hardware groups 1 and 9.
- B. Refer to attached sheet A9.01 for revised door schedule 1/A9.01. Door schedule revised to have corrected door hardware groups. Affected doors: 3, 6, 9-12, 15-16, 19, 27-28.

Item 15 Sheet A12.14

- A. Refer to attached sheet A12.14 for revised detail 7/A12.14.

Item 16 Sheet A12.32

- A. Refer to attached sheet A12.32 for revised detail 2/A12.32.
- B. Refer to attached sheet A12.32 for added detail 12/A12.32.

**Civil:**

Item 1 Sheet C-2

- A. Sheet C-2 Grading Plan & Drainage Plan – Revised perforated pipes, 2” PVC pipes, and COTG’s.
- B. 2. Sheet C-2 Grading Plan & Drainage Plan – Additional 2” weep holes.

**Mechanical:**

Item 1 Sheet M5.1

- A. Updated terminal box control note to add demand control ventilation program to (E) sequence.

**Plumbing:**

Item 1 Sheet P2.1

- A. Clarified sheet note 1 to access piping from outside restroom for connections.
- B. Added sheet note 7 to access piping from isolation room for connection.
- C. Added sheet note 7 to access waste piping from wall in isolation room, and not disturb restroom wall.

**Electrical:**

Item 1 Sheet E0.01

- A. Added Symbols for Door Bell & Push button

Item 2 Sheet E1.01

- A. Sheet note 19 & 20 added for the alarm panic kit
- B. Resize the conduit sleeve between walls to 1 ½” conduit.

Item 3 Sheet E2.01

- A. Added sheet note 2 for the existing lighting to be returned to the owner.

Item 4 Sheet E2.02

- A. Added sheet note 2 to clarify the locations of existing electrical items to be disconnected and removed.

Item 5 Sheet E3.01

- A. Added Lighting Control Legend
- B. Revised to show switch pack, area controller.

- C. Added more emergency pack in some areas
- D. Added more fixtures in some areas to have better illumination.

## Item 6 Sheet E3.02

- A. Added 100A/3P, 120/208V Electrical Panel "CL3
- B. Added electrical wall heater circuits.
- C. Added receptacles for lighting wireless area controllers.
- D. Revised oven and kitchen equipment to be connected to new panel CL3.
- E. Added 100A/3P, 120/208V Electrical Panel "CL3
- F. Added electrical wall heater circuits.
- G. Added receptacles for lighting wireless area controllers.
- H. Revised oven and kitchen equipment circuits to be connected to new panel CL3.

## Item 7 Sheet E3.03

- A. Added data outlets for lighting wireless area controllers.
- B. Added Bell, buzzer.
- C. Added Door Access Security Panel & Power supply.
- D. Added clock in the classrooms, staff Lounge & Entry area.
- E. Added card readers & actuators in some areas.
- F. Added backboards plywood to mount the security/ power supply.

## Item 8 Sheet E3.04

- A. Added data outlets for lighting wireless area controllers.
- B. Added Bell, buzzer.
- C. Added Door Access Security Panel & Power supply
- D. Added clock in the classrooms, staff Lounge & Entry area.
- E. Added card readers & actuators is some areas
- F. Added backboards plywood to mount the security/ power supply

## Item 9 Sheet E4.01

- A. Added new panel schedule for the new panel CL3
- B. Added new 100a/3P circuit breaker in existing panel CL for the new panel CL
- C. Added note 6 in security system for the wireless and transmitters for automatic doors
- D. Added note 5 to highlight the new requirements for the CAT6 & CAT6A cables to be CMP rated.

## Item 10 Sheet E5.02

- A. Revised Fixture schedules by adding battery pack, detail references and model numbers to reflect the changes made in sheet E3.01 Lighting plan.

## Item 11 Sheet E5.03

- A. Added notes 1 & 2 for reprogramming existing lighting system for the lighting additions. Also lighting contractor to coordinate with the data network contractor for lighting.
- B. Added a detail for the panel mounting.

**Fire Protection:**

## Item 1 Sheet FP2.1

- A. Added localized sprinkler heads in concealed plenum space in corridor for bundled data wiring.
- B. Added note to provide unit cost for additional heads that may be required by Fire Marshall upon inspection.

**RESPONSES TO THE QUESTIONS:**

1. **Question #1** - Does this job have asbestos abatement and selective demolition?

*Answer: Refer to the BID documents*

2. **Question #2** - A6.01 Key note 7. Signage is indicated under separate permit. Is this signage OFOI and/or?

*Answer: CFCI, separate permit needs to be submitted to the city. Permit reimbursed by the owner.*

3. **Question #3** - A8.07 Key note 2, A8.08 Detail 6B and 6D. Appliances supplied and installed by contractor? (if yes please provide specifications)

*Answer: OFCI.*

4. **Question #4** - Confirming ADA Driveway off site set is part of this project.

*Answer: Yes, refer to sheet A1.10 and off-site permit*

5. **Question #5** - Can you please provide an Engineers Estimate for the project?

*Answer: ROM is \$2,960,088*

6. **Question #6** - Page 28 & 153 both indicate N/A for Prequalification - please confirm that no pre qualification is required to bid on this project?

*Answer: Correct, no pre-qualification is required*

7. **Question #7** - Is there a Project Labor Agreement applicable to this project?

*Answer: No.*

**PLANNING DATA**

APN#: 237-03-039  
 ZONING: IP  
 GENERAL PLAN 2040: Industrial Park  
 TOTAL SITE ACREAGE: 9.00 (see attached Assessor's map)

**BUILDING DATA**

**(E) BUILDING 2 - NORTH BUILDING**

**EXISTING**

TYPE OF CONSTRUCTION: II-1HR (SPRINKLERED)  
 FIRE PROTECTION: SPRINKLERED  
 OCCUPANCY TYPE: B, A-3, E  
 NUMBER OF STORIES: 3 STORIES  
 EXISTING HEIGHT: 50'-0"

**(E) USES (INTERIOR)**

(E) 1ST FLOOR (OFFICE): 26,901 SF  
 (E) 2ND FLOOR (OFFICE): 26,399 SF  
 (E) 3RD FLOOR (OFFICE): 26,399 SF  
 ATRIUM: 4,815 SF

(E) TOTAL (OFFICE): 84,514 SF (NO ADDED AREA IN THIS PROJECT)

**PROPOSED**

**USES (INTERIOR)**

1ST FLOOR (EARLY EDUCATION): 5,645 SF  
 1ST FLOOR (OFFICE): 21,256 SF  
 2ND FLOOR (OFFICE): 26,399 SF  
 3RD FLOOR (OFFICE): 26,399 SF  
 ATRIUM: 4,815 S

TOTAL: 84,514 SF (NO ADDED AREA IN THIS PROJECT)

**USES (EXTERIOR)**

PLAYGROUND & ENTRY: 2,680 SF

**OCCUPANCY:**

NON-SEPARATED OCCUPANCY - MOST RESTRICTIVE ALLOWANCES APPLY PER 508.3.2

CONSTRUCTION TYPE: II-A  
 OCCUPANCY: B, A-3, E

ALLOWABLE AREA, STORIES & HEIGHT PER TABLE 506.2, 504.4 & 504.3

ALLOWABLE AREA: 46,600 SF PER STORY x 3 STORIES = 139,800 (A-3 MOST RESTRICTIVE)  
 ALLOWABLE STORIES: 4 (A-3, E MOST RESTRICTIVE)  
 ALLOWABLE HEIGHT: 85'-0"

**ACTUAL BUILDING AREA**

FOR (E) BUILDING 2 -  
 NORTH BUILDING: 84,514 SF - OK  
 ACTUAL STORIES: 3 - OK  
 ACTUAL HEIGHT: 50'-0" -OK

**PARKING ANALYSIS**

**(E) PARKING LOT**

TOTAL PARKING SPACES PROVIDED 647 PARKING SPACES

ACCESSIBLE SPACES PROVIDED 13 (9 (E) ACCESSIBLE; 4(E) ACCESSIBLE VAN

(E) OFFICES FLOOR AREA NET SQUARE FOOTAGE 173,278 SF

590 PARKING SPACES REQUIRED

(E) WAREHOUSE FLOOR AREA GROSS SQUARE FOOTAGE 23,850 SF

5 PARKING SPACES REQUIRED

TOTAL VEHICLE PARKING SPACES REQUIRED 595 PARKING SPACES

**(N) DAY CARE CENTER**

PARKING SPACES REQUIRED: 7 PARKING SPACES PROVIDED

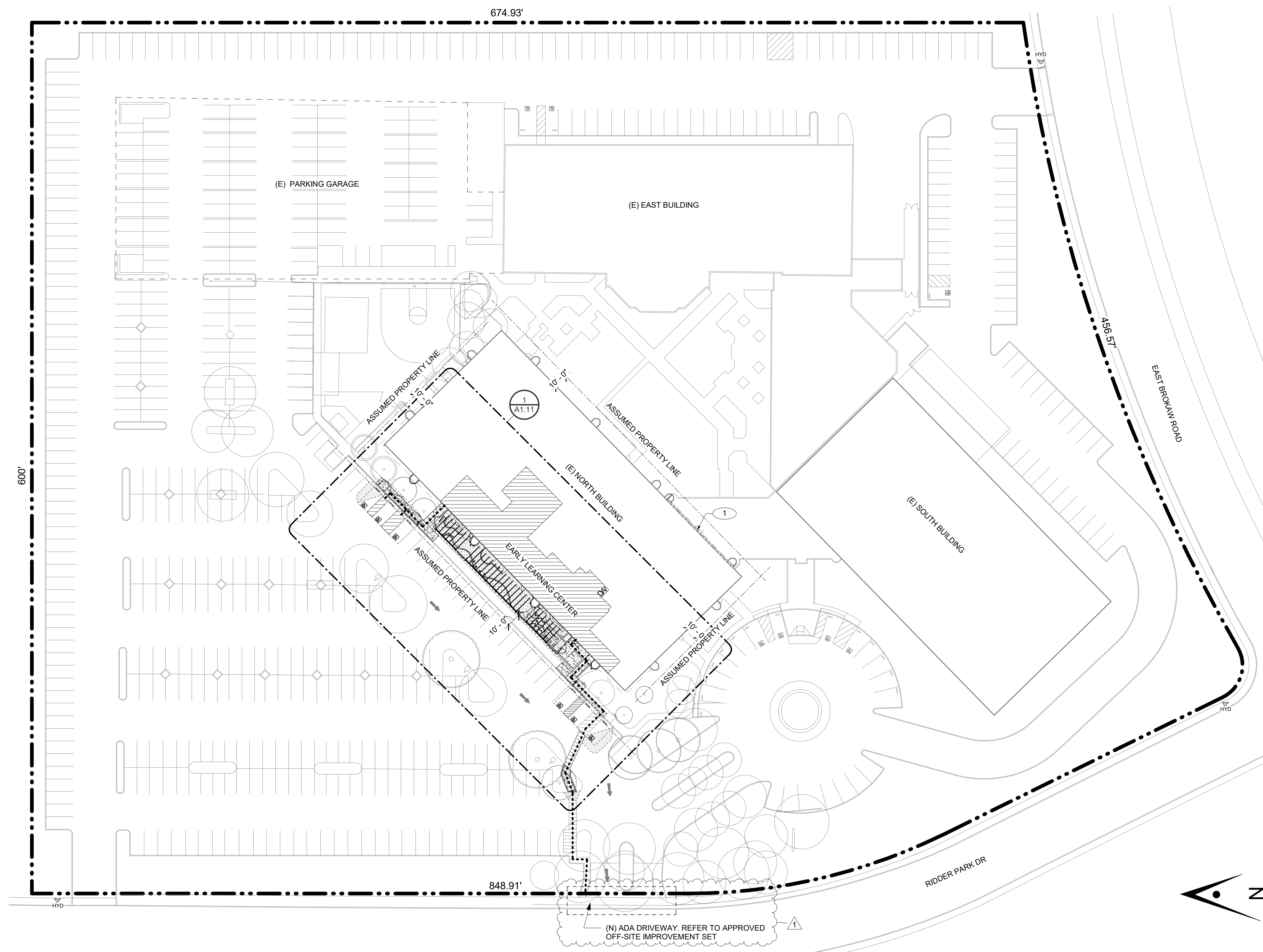
Floor	Sq Ft
North 1	26,650
North 2	26,650
North 3	26,650
South 1	28,506
South 2	28,754
South 3	28,754
Kitchen	5,227
Atrium	2,087
Warehouse	23,850
<b>Total</b>	<b>197,128</b>

TOTAL AREA OF NORTH BUILDING: 84,514 SF

Excludes Roof Top Penthouses

**BICYCLE PARKING:**

SPACES REQUIRED: 2 SPACES PROVIDED: 2



**PLANNING DATA**

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 GENERAL PLAN 2040: Industrial Park  
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 FIRE PROTECTION: SPRINKLERED  
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 ALLOWABLE STORIES: 4 (A-3, E MOST RESTRICTIVE)  
 ALLOWABLE HEIGHT: 85'-0"

**ACTUAL BUILDING AREA**

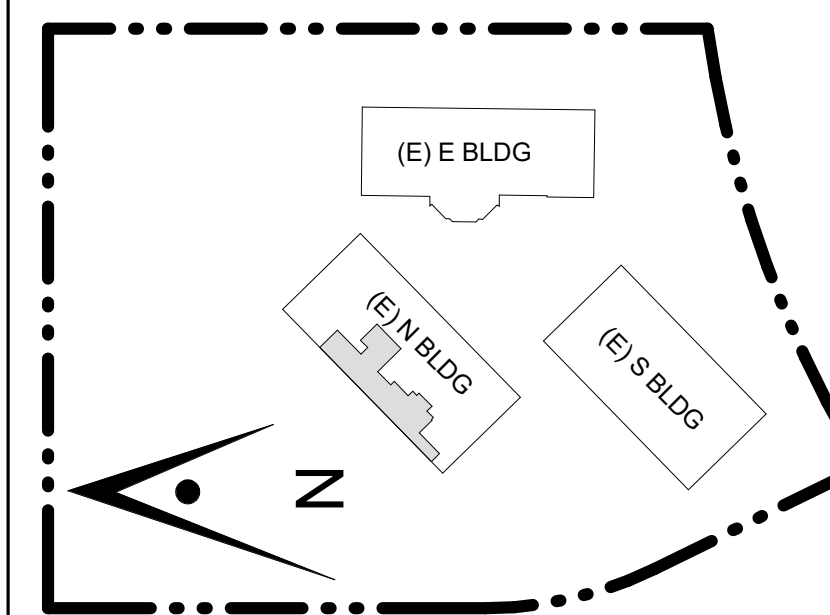
FOR (E) BUILDING 2 -  
 NORTH BUILDING: 84,514 SF - OK  
 ACTUAL STORIES: 3 - OK  
 ACTUAL HEIGHT: 50'-0" -OK

**ARTiK**  
 ART & ARCHITECTURE

394-A Umbarger Rd  
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 Phone 408.224.9890  
 Fax 408.224.9891  
 www.Artika3.com

**CONSULTANT'S STAMP**

**Key Plan**



**Project Title**

**SCCOE EARLY LEARNING CENTER**

1290 Ridder Park Dr, San Jose

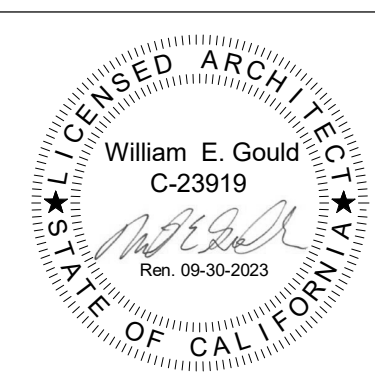
**SANTA CLARA COUNTY OFFICE OF EDUCATION**

No.	Description	Date
	ISSUED FOR PERMIT	05/03/22
	1ST BUILDING RESUBMITTAL	10/26/22
1	ADDENDUM 1	08/16/23

**Drawing Title**

**OVERALL SITE PLAN**

**Architect Seal**



<b>File No.</b>	<b>Drawing No.</b>
<b>Application No.</b>	<b>A1.10</b>
<b>Date</b>	
<b>Project Number</b>	

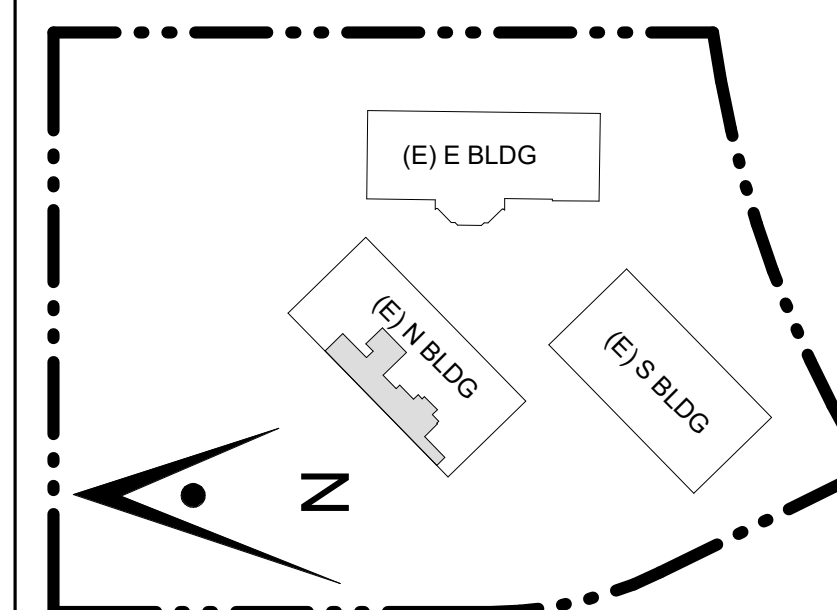
**1 OVERALL SITE PLAN**

1" = 40'-0"

GENERAL NOTES	PATH OF TRAVEL	KEYNOTES	GRAPHIC KEY
	<p>ACCESSIBLE PATH OF TRAVEL (P.O.T.) AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTENT. CROSS SLOPE DOES NOT EXCEED 1:48 AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 1:20, UNLESS OTHERWISE INDICATED. ACCESSIBLE ROUTE OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE ROUTE OF TRAVEL.</p>	<p>① (E) 2 HOUR RATED FIRE-RESISTIVE CONSTRUCTION</p>	<p>AREA OF NEW WORK</p> <p>EXISTING BUILDING</p> <p>PROPERTY LINE</p> <p>ASSUMED PROPERTY LINE</p> <p>ACCESSIBLE ROUTE, SEE GENERAL NOTE A</p> <p>(E) FIRE HYDRANT TO REMAIN</p>

CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

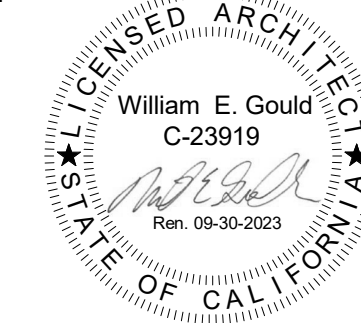
SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
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	ADDENDUM 1	08/16/23

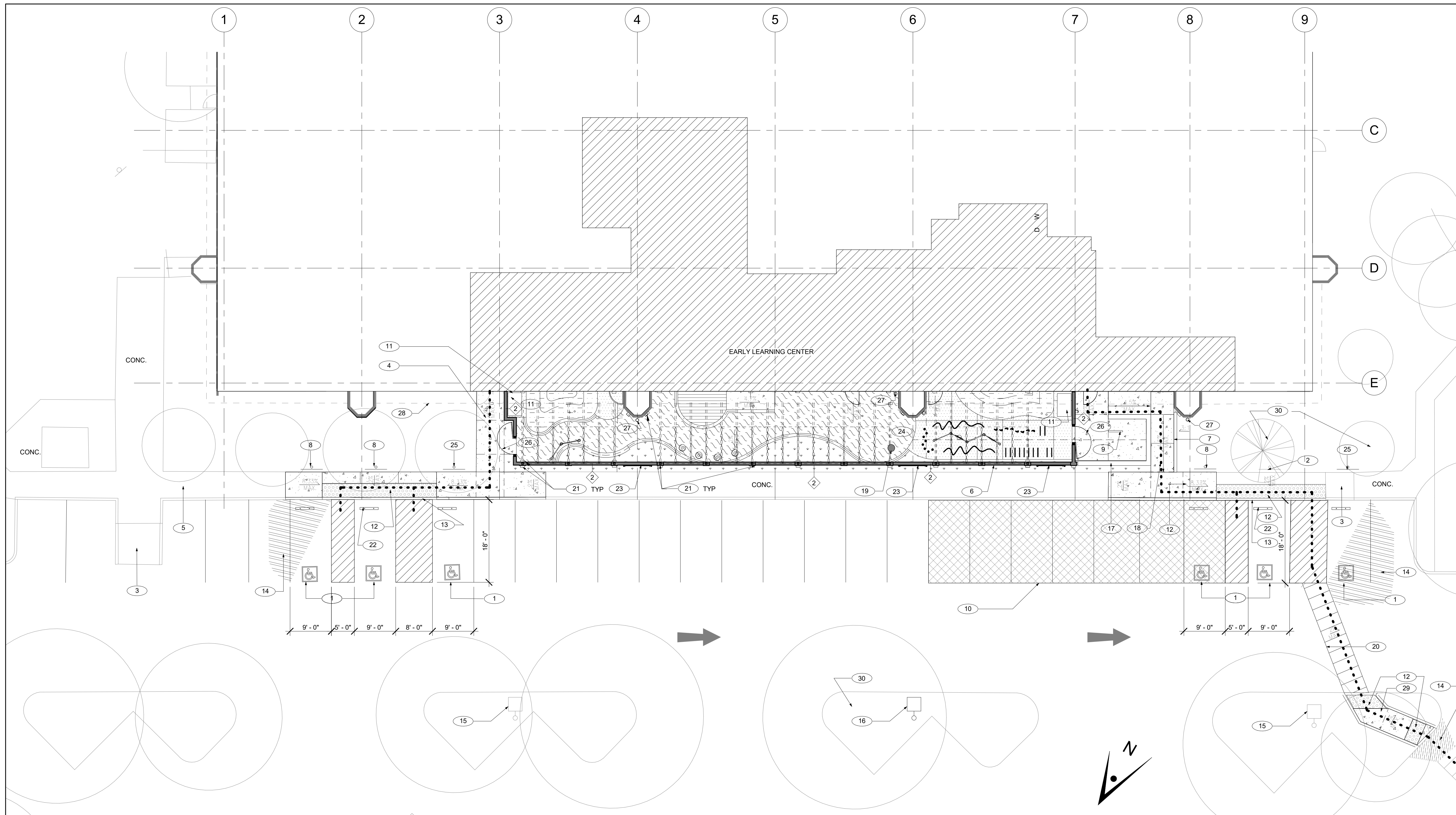
Drawing Title

## ENLARGED SITE PLAN

Architect Seal



File No.	Drawing No.
Application No.	A1.11
Date	
Project Number	



1 ENLARGED SITE PLAN 3/32" = 1'-0"

### GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. EXISTING OVERALL SITE FEATURES ARE SHOWN FOR REFERENCE ONLY. EXACT SIZES AND LOCATIONS MAY NOT BE TRUE TO SCALE.
- CONTRACTOR TO PROTECT ALL (E) SITE FEATURES TO REMAIN FROM DAMAGE INCLUDING BUT NOT LIMITED TO, STRUCTURES, UTILITIES, TREES, LANDSCAPING AND SITE WORK.
- REFER TO TEMPORARY TREE AND PLANT PROTECTION SPECIFICATION AND DETAIL A14.3 FOR ALL EXISTING-TO-REMAIN TREES, S.L.D. CONTRACTOR SHALL COORDINATE ROUGH GRADING AND FINE GRADING TO ENSURE EXISTING SUITABLE TOPSOIL IS REMOVED, STOCKPILED AND REINSTALLED INTO ALL PROPOSED LANDSCAPE AREAS PER LANDSCAPE SPECIFICATION. IN THE EVENT THERE IS NOT ENOUGH EXISTING TOPSOIL, OR NO PLACE TO STOCKPILE TOPSOIL, CONTRACTOR SHALL IMPORT AND INSTALL TOPSOIL PER LANDSCAPE SPECIFICATION, S.L.D.

### KEYNOTES

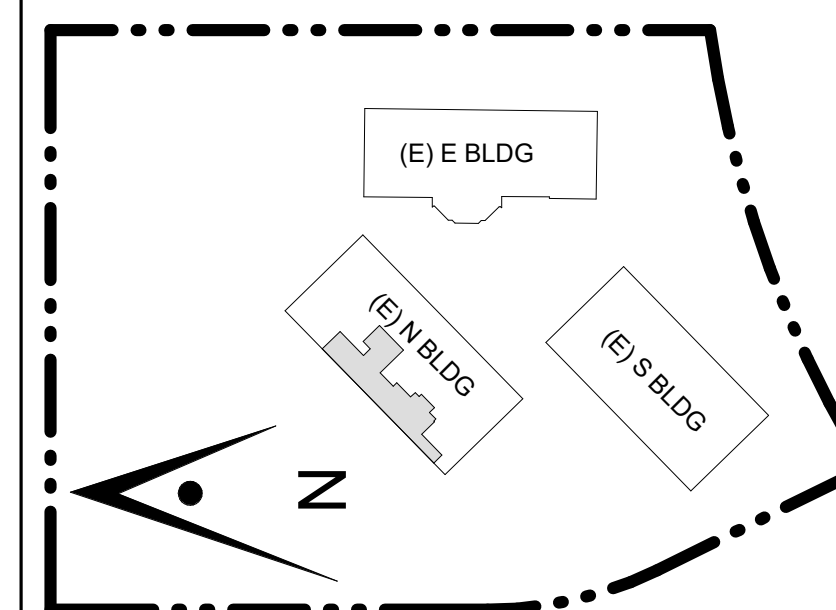
1 (N) ACCESSIBLE PARKING STALLS, SEE 4/A12.10	15 (E) LIGHT POLE	27 (N) CAST IRON DOWNSPOUT, SEE DETAIL 9 & 10/A12.32
2 (E) SIGN: ACCESSIBLE PARKING ONLY	16 RELOCATED (E) LIGHT POLE	28 OVERHANG ABOVE
3 (E) TRUNCATED DOMES	17 (N) SEAT WALL, S.L.D	29 (N) CURB RAMP, S.C.D.
4 NEW CONCRETE PAVING, TYP.	18 NEW SLOPED WALKWAY S.C.D & S.L.D	30 (E) TREE TO REMAIN, REFER TO LANDSCAPE DRAWINGS AND SPECIFICATIONS, TYP TO ALL
5 (E) CONCRETE PAVING TO REMAIN, TYP.	19 (E) LIGHT POLE TO BE RELOCATED S.E.D	
6 7' STUCCO TALL WALL WITH ART PANELS	20 (N) PATH OF TRAVEL TO THE PUBLIC WAY	
7 (N) RETAINING WALL, S.C.D	21 (N) LIGHT MOUNTED ON WALL, TYP. S.E.D.	
8 (N) SIGN: ACCESSIBLE PARKING ONLY, SEE 3/A12.10	22 (N) WHEEL STOP, TYP. SEE 5/A12.10 & S.C.D.	
9 (N) BIKE RACK, S.L.D	23 (N) MODULAR PLANT TRELIS, BASIS OF DESIGN VERTIGREEN BY TOURNEURSOL	
10 (N) SIGN: NO PARKING DURING DROP-OFF/PICK UP TIMES	24 PLAYGROUND, REFER TO LANDSCAPE DRAWINGS	
11 3'x6' STORAGE AREA, OFCI	25 (N) SIGN: ACCESSIBLE PARKING ONLY, VAN ACCESSIBLE, SEE 3/A12.10	
12 (N) TRUNCATED DOMES, S.C.D	26 (N) ORNAMENTAL GATE, PAINTED WITH ALARMED PANIC HARDWARE, S.S.D & A12.14	
13 FLUSH CURB, S.C.D.		
14 REMOVE AND REPLACE (E) AC, S.C.D		

### GRAPHIC KEY

	AREA OF NEW WORK
	EXISTING BUILDING
	PROPERTY LINE
	ASSUMED PROPERTY LINE
	ACCESSIBLE ROUTE, SEE GENERAL NOTE A
	(E) FIRE HYDRANT TO REMAIN

CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

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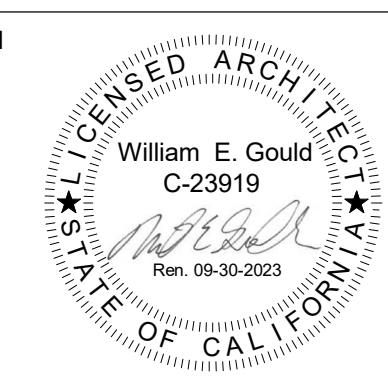
### SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
1	ISSUED FOR PERMIT	05/03/22
	1ST BUILDING RESUBMITTAL	10/26/22
	ADDENDUM 1	08/16/23

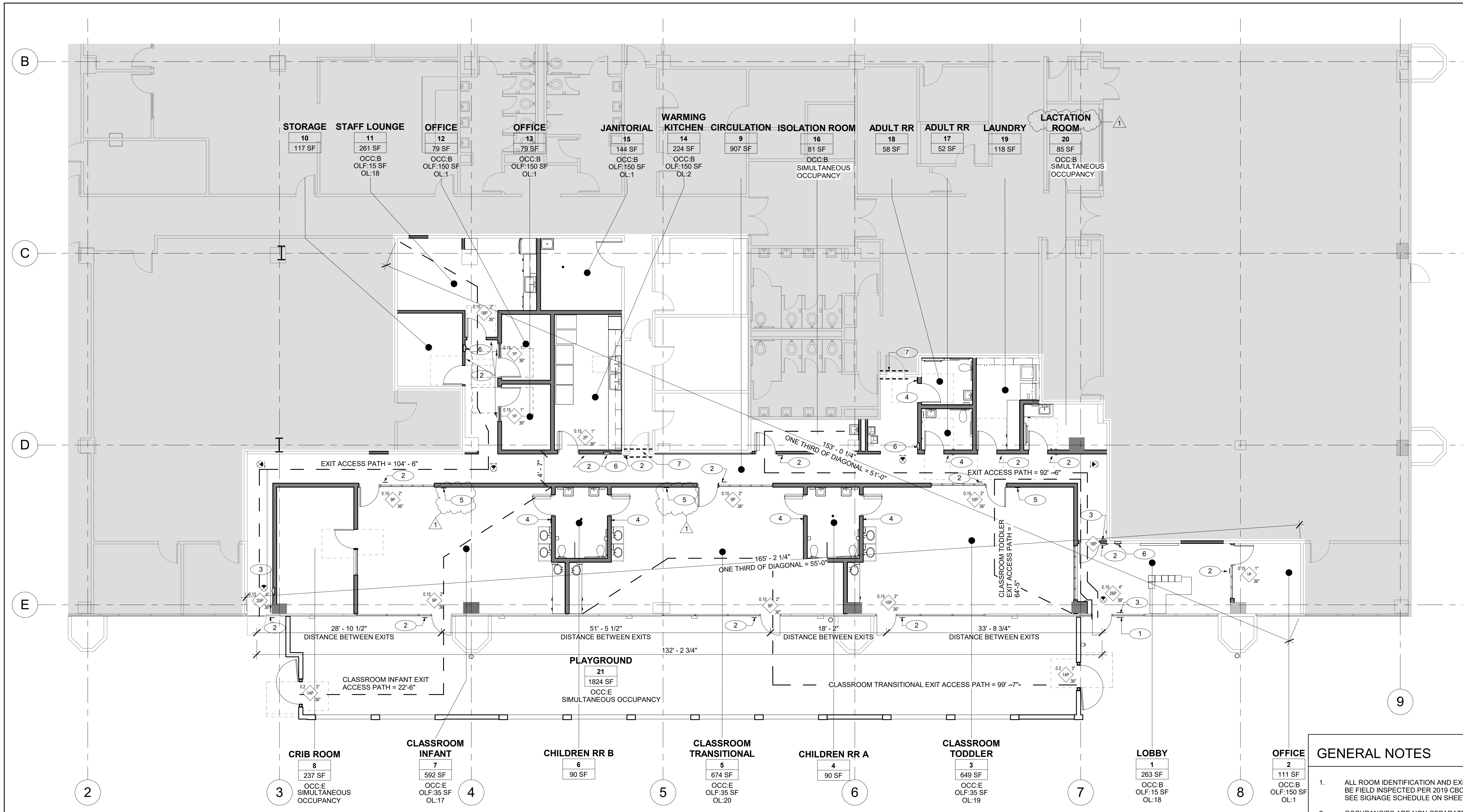
Drawing Title

## BUILDING CODE PLAN

Architect Seal



File No.	Drawing No.
Application No.	A1.20
Date	4/22/22
Project Number	06401



### GENERAL NOTES

- ALL ROOM IDENTIFICATION AND EXIT SIGNAGE MUST BE FIELD INSPECTED PER 2019 CBC 11B 703.1.1.2. SEE SIGNAGE SCHEDULE ON SHEET A12.21
- OCCUPANCIES ARE NON-SEPARATED. THE MOST RESTRICTIVE REQUIREMENTS OF CBC CHAPTER 9 FOR EACH NON-SEPARATED OCCUPANCY SHALL APPLY THROUGHOUT ALL NONSEPARATED SPACES.

1 1ST FLOOR CODE PLAN  
SCALE: 1/8" = 1'-0"  
NOTE: SEE SHEET A1.21 FOR CODE PLAN FOR ENTIRE FIRST FLOOR OF NORTH BUILDING.

ROOM NO.	ROOM NAME	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD
FIRST FLOOR					
1	LOBBY	B	263 SF	15	18
2	OFFICE	B	111 SF	150	1
3	CLASSROOM TODDLER	E	649 SF	35	19
5	CLASSROOM TRANSITIONAL	E	674 SF	35	20
7	CLASSROOM INFANT	E	592 SF	35	17
8	CRIB ROOM	E	237 SF	SIMULTANEOUS OCCUPANCY	
11	STAFF LOUNGE	B	261 SF	15	18
12	OFFICE	B	79 SF	150	1
13	OFFICE	B	79 SF	150	1
14	WARMING KITCHEN	B	224 SF	150	2
15	JANITORIAL	B	144 SF	SIMULTANEOUS OCCUPANCY	
16	ISOLATION ROOM	B	81 SF	SIMULTANEOUS OCCUPANCY	
20	LACTATION ROOM	B	85 SF	SIMULTANEOUS OCCUPANCY	
21	PLAYGROUND	E	1824 SF	0	
Total Occupancy Load			5301 SF		105

DOOR WIDTH REQUIREMENT (INCHES):  
OCCUPANT LOAD SERVED X 0.15  
(SHOWN AT EACH EGRESS DOOR)

### PLUMBING CODE

MINIMUM PLUMBING REQUIREMENTS PER CPC TABLE 422.1

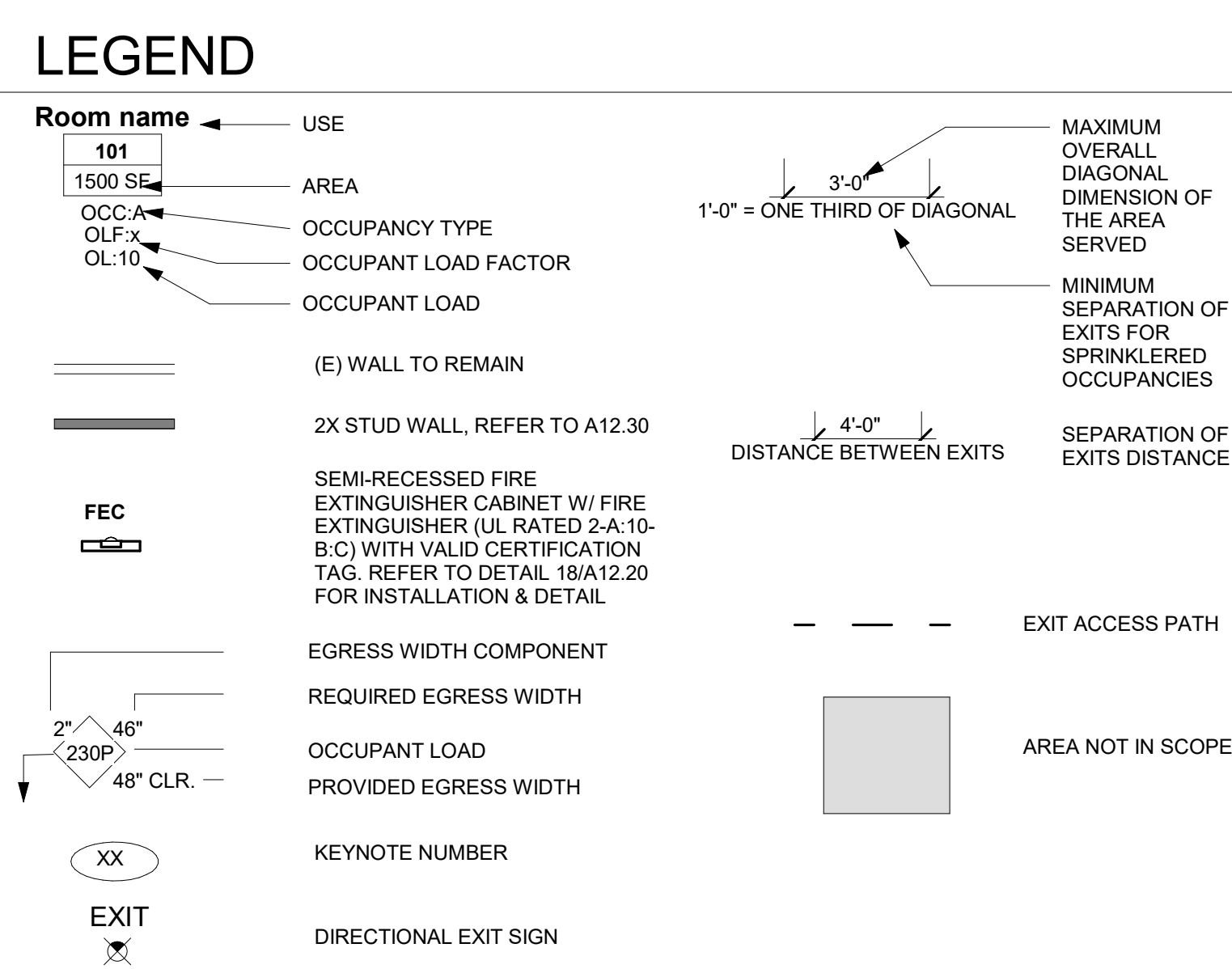
REQUIREMENT	REQUIRED	PROVIDED
<b>WATER CLOSETS</b>		
MALE	1 PER 50	1
FEMALE	1 PER 50	1
<b>URINALS</b>		
MALE	1 PER 100	1
<b>LAVATORIES</b>		
MALE	1 PER 50	1
FEMALE	1 PER 50	1

### KEYNOTES

KEYNOTE	DESCRIPTION
1	TACTILE BUILDING IDENTIFICATION SIGNAGE. REFER TO 1/A12.21 & 9/A12.21
2	TACTILE ROOM IDENTIFICATION SIGNAGE. REFER TO 1/A12.21 & 4/A12.21
3	TACTILE EXIT SIGNAGE. REFER TO 5/A12.21
4	RESTROOM SIGNAGE. REFER TO 2/A12.21
5	ASSISTIVE LISTENING SIGN. SEE DETAIL 7/A12.21.
6	SEMI-RECESSED FIRE EXTINGUISHER CABINETS. FE W/ VALID TAGS ATTACHED. REFER TO DETAIL 18/A12.20
7	NO EGRESS. RESTRICTED ENTRY BY KEY CARD AT BOTH SIDES OF DOOR

### LEGEND

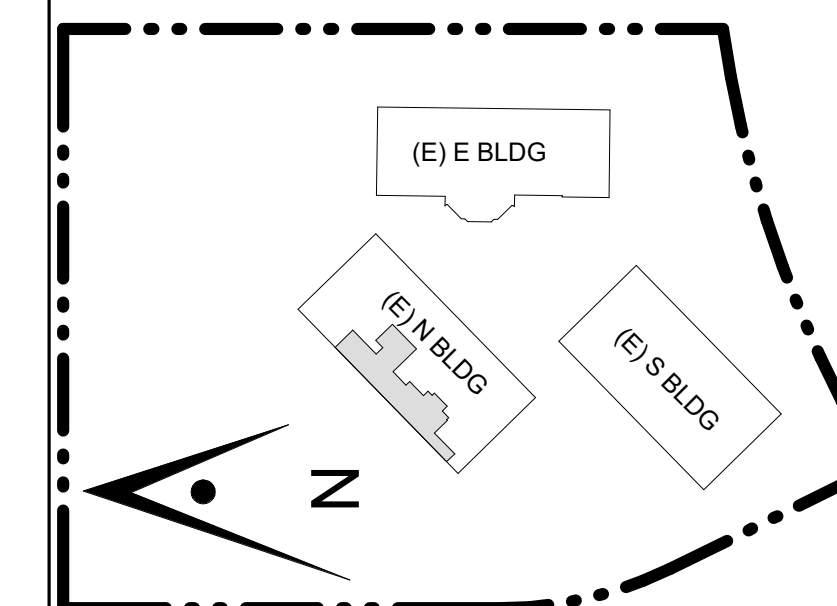
Symbol	Description
Room name	USE
101	AREA
1500 SE	OCCUPANCY TYPE
OCC.A	OCCUPANT LOAD FACTOR
OLF.X	OCCUPANT LOAD
OL.10	
(E) WALL TO REMAIN	
2X STUD WALL, REFER TO A12.30	
FEC	SEMI-RECESSED FIRE EXTINGUISHER CABINET W/ FIRE EXTINGUISHER (UL RATED 2-A-10-B-C) WITH VALID CERTIFICATION TAG. REFER TO DETAIL 18/A12.20 FOR INSTALLATION & DETAIL
EGRESS WIDTH COMPONENT	
REQUIRED EGRESS WIDTH	
OCCUPANT LOAD	
PROVIDED EGRESS WIDTH	
XX	KEYNOTE NUMBER
EXIT	DIRECTIONAL EXIT SIGN





CONSULTANT'S STAMP

Key Plan



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## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

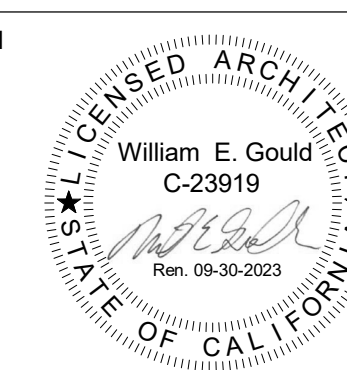
SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
	ISSUED FOR PERMIT	05/03/22
1	ADDENDUM 1	08/16/23

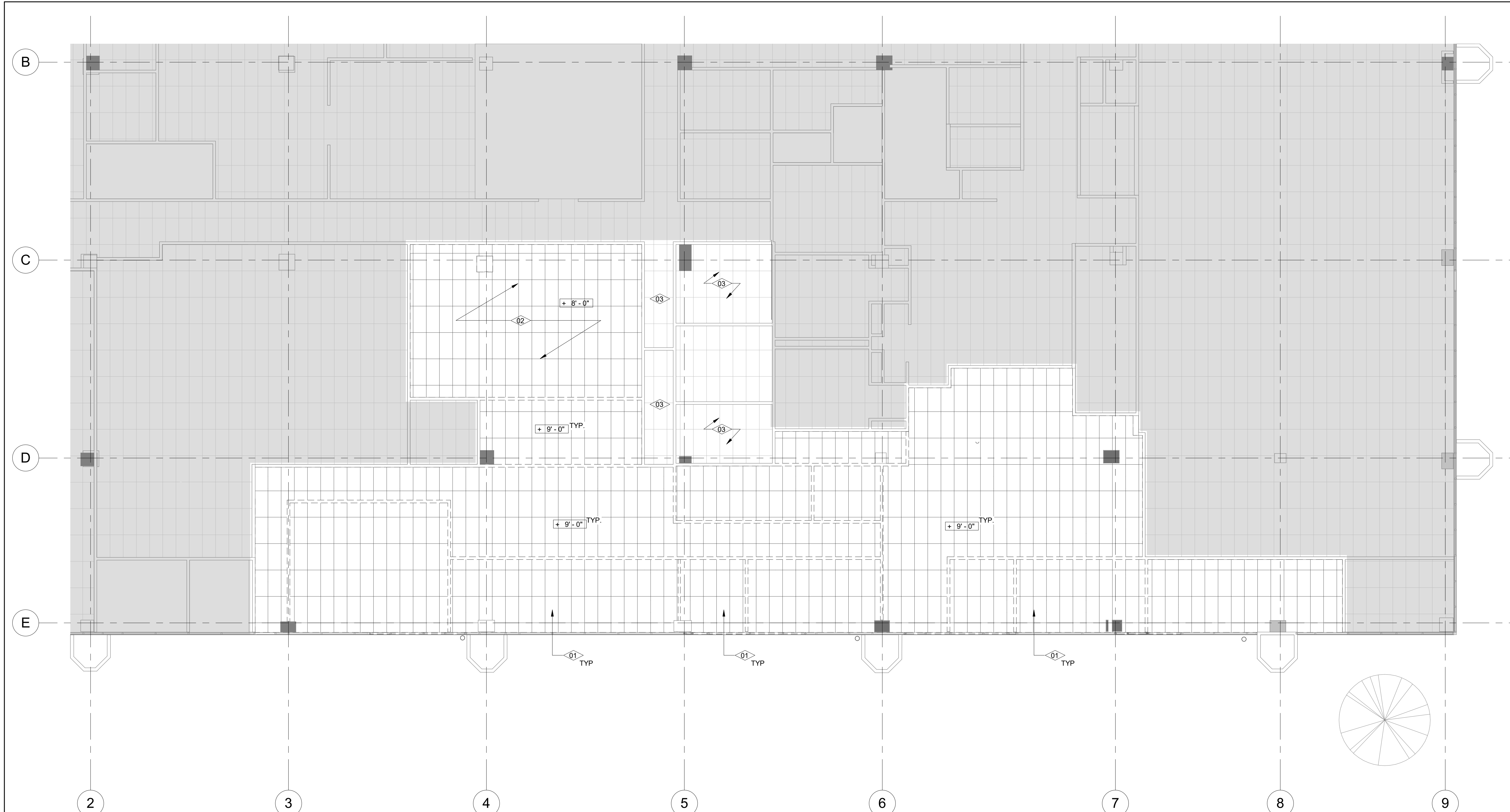
Drawing Title

## DEMOLITION RCP

Architect Seal



File No.	Drawing No.
Application No.	A2.31
Date	
Project Number	



### 1 DEMOLITION RCP

SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- DEMOLITION PLAN IS DIAGRAMMATIC. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION EVEN IF NOT SPECIFICALLY INDICATED ON THE DEMOLITION DRAWINGS.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, FOR SPECIFIC DEMOLITION SCOPE.
- CONTRACTOR TO COORDINATE ALL SAW CUT IN CONCRETE SLAB AND PAVEMENT AS REQUIRED FOR NEW WORK.
- ALL MATERIAL INDICATED TO BE REMOVED IS TO BE DISPOSED OFF IN A LEGAL MANNER. CONTRACTOR TO CONFIRM WITH OWNER FOR EQUIPMENT TO BE SALVAGED.
- CONTRACTOR SHALL PROTECT PORTIONS OF EXISTING CONSTRUCTION NOT INDICATED TO BE DEMOLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND REPAIR OF ITEMS TO REMAIN.
- PARTIAL DEMOLITION TO INCLUDE TRIMMING AND CAPPING SYSTEMS THAT ARE TO REMAIN OPERABLE.
- REMOVE ALL (E) AV EQUIPMENT, PRODUCTION LIGHTING AND SPEAKERS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER DISCIPLINES.
- PATCH AND REPAIR ALL WALL, CEILING, AND FLOOR SURFACES TO MATCH ADJACENT FINISH, DUE TO MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED FOR INSTALLATION OF WORK EVEN IF NOT SPECIFICALLY INDICATED ON THE DEMOLITION DRAWING.
- REMOVE (E) FINISH AS REQUIRED FOR NEW WORK. PATCH/REPAIR CEILING AT AREA OF WORK RELATING TO WALLS BEING DEMOLISHED. MATCH (E) ADJACENT FINISH.

**KEYNOTE LEGEND**

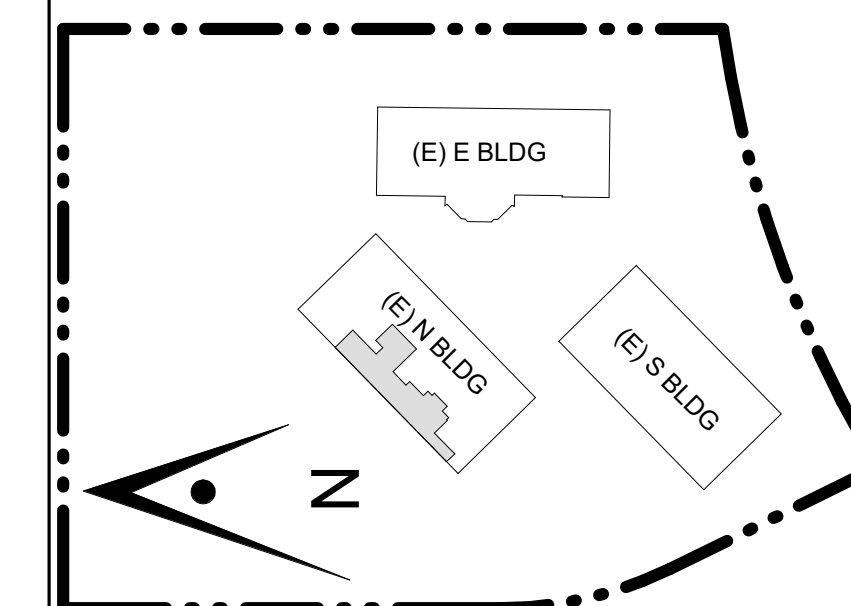
- 01 (E) CEILINGS, INCLUDING GRID, TILE, LIGHTING AND OTHER CEILING MOUNTED ELEMENTS TO BE REMOVED
- 02 (E) CLNG GRID & TILE @ 9'-0" AFF ABOVE, & (E) CLNG GRID & TILE @ 8'-0" AFF TO BE REMOVED
- 03 (E) CEILING. PROTECT DURING CONSTRUCTION. REPAIR BROKEN TILES AS NEEDED.

**LEGEND**

- EXISTING WALL
- DEMOLISHED WALL
- DEMOLISHED GYP BOARD CEILING
- DEMOLISHED T-BAR CEILING
- ITEMS TO BE REMOVED
- EXISTING EXIT SIGN
- EXIT SIGN TO BE REMOVED
- AREA NOT IN SCOPE

CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

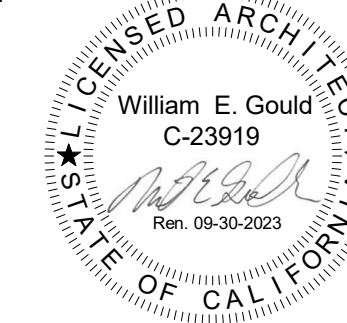
SANTA CLARA COUNTY OFFICE OF EDUCATION

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1	ISSUED FOR PERMIT	05/03/22
	1ST BUILDING RESUBMITTAL	10/26/22
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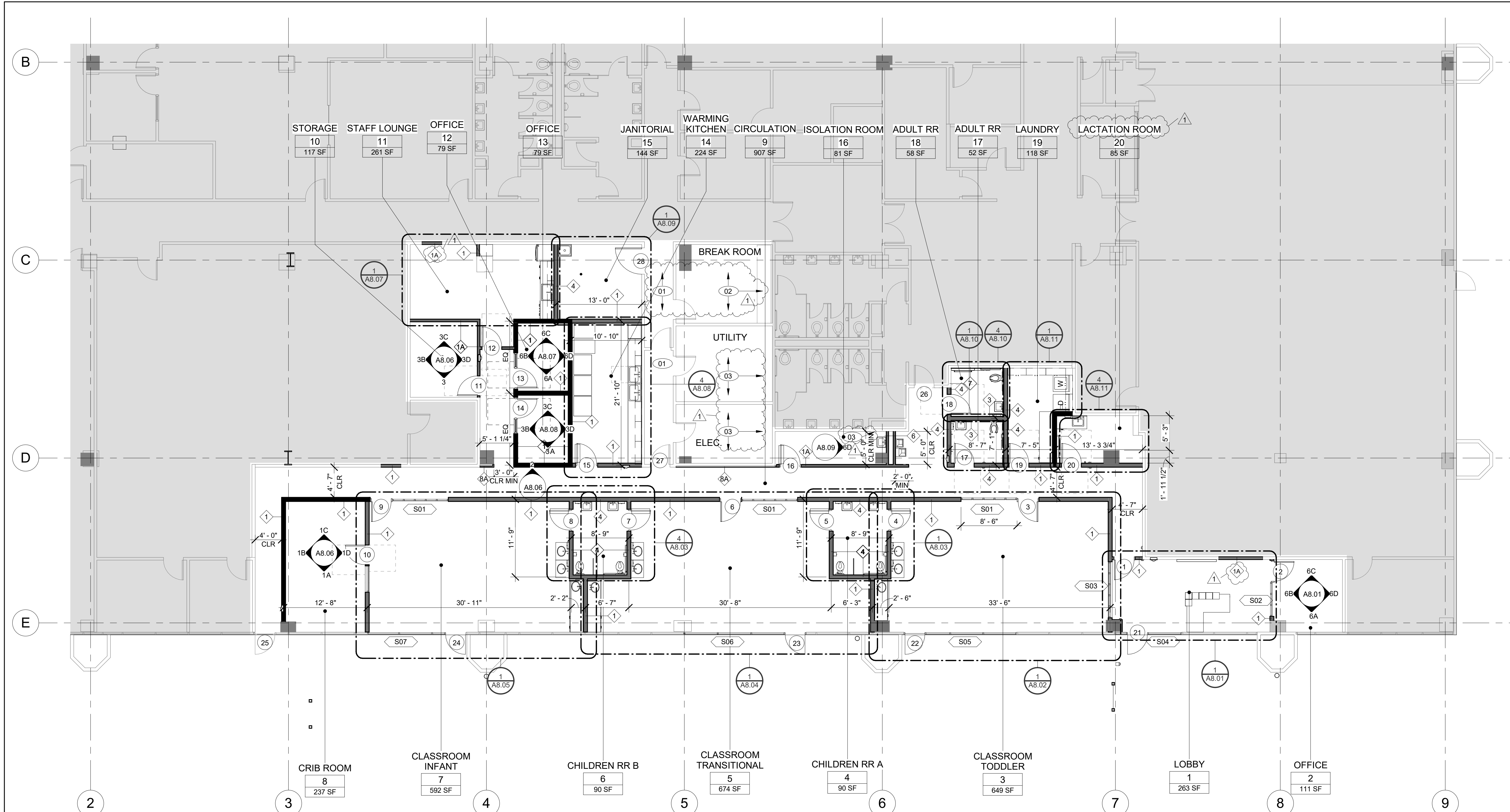
Drawing Title

## FIRST FLOOR PLAN

Architect Seal



File No.	Drawing No.
Application No.	A3.01
Date	
Project Number	



### 1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

#### GENERAL NOTES

- REFER TO ENLARGED FLOOR PLANS FOR MORE DETAIL.
- REFER TO INTERIOR ELEVATIONS AND EXTERIOR ELEVATIONS FOR ADDITIONAL NOTES AND INFORMATION.
- REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- PROVIDE FRAMING SUPPORT, BLOCKING, AND BACKING, ETC., REQUIRED FOR INSTALLATION OF ALL RECESSED, WALL MOUNTED, OR CONCEALED ITEMS AND UTILITIES. PROVIDE ALL BASES AND BACKING REQUIRED FOR ACCESSORIES AND FOR ELECTRICAL, MECHANICAL, AND OTHER EQUIPMENT. REFER TO 4/A12.20 FOR TYPICAL BLOCKING DETAIL.
- ADJACENT IN-LINE PARTITIONS OF DIFFERENT TYPES SHALL BE CONSTRUCTED SUCH THAT EXPOSED FINISH SURFACES ARE FLUSH AND CONTINUOUS.
- PROVIDE INSULATION IN WALLS, CEILINGS, AND ROOFS PER TITLE 24 REQUIREMENTS.
- ALL INTERIOR CONSTRUCTION ON THIS PROJECT IS DESIGNATED "AIRTIGHT" FOR THE PURPOSES OF SOUND ISOLATION AND NOISE CONTROL. THE REQUIREMENTS FOR AIRTIGHT CONSTRUCTION INCLUDE BUT ARE NOT LIMITED TO, THE DETAILS SHOWN ON SHEET A12.31. ALL NECESSARY PRODUCTS AND DETAILING SHALL BE PROVIDED TO ACHIEVE AIRTIGHT/LEAKPROOF CONSTRUCTION, WHETHER OR NOT THOSE PRODUCTS OR DETAILS ARE SPECIFICALLY DESCRIBED AS SHOW IN THE PROJECT DOCUMENTS.
- REFER TO SHEET A12.30 & A12.31 FOR WALL TYPES AND DETAILS.
- REFER TO SHEET A9.06 & A9.07 FOR ROOM FINISH SCHEDULE.
- REFER TO SHEET A9.01 & A12.50 FOR DOOR TYPES, SCHEDULE, AND DETAILS.
- REFER TO SHEET A9.02 & A12.51 FOR WINDOW TYPES, SCHEDULE, AND DETAILS.
- REFER TO SHEET A9.02 FOR GLAZING TYPES.
- DIMENSIONS TO CENTER OF WALL.

#### KEYNOTE LEGEND

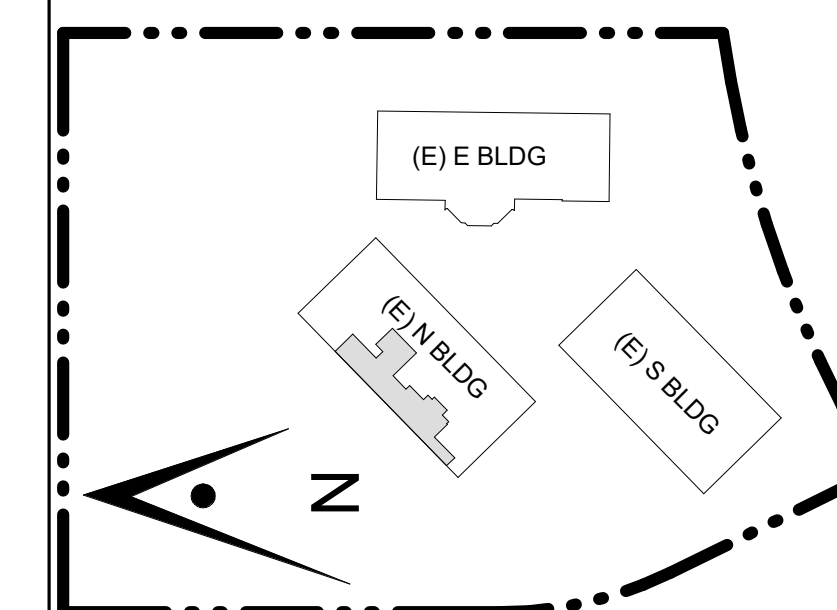
- 01 PATCH FLOOR AFTER PLUMBING TRENCH WORK. CARPET & BASE IN CORRIDOR TO BE REPLACED, MATCH EXISTING
- 02 PATCH FLOOR AFTER PLUMBING TRENCH WORK. UNINSTALL EXISTING KITCHEN CABINETS & APPLIANCES TO PERFORM THE WORK. INSTALL BACK IN PLACE. BREAK ROOM TO RECEIVE (N) R-1 RUBBER FLOORING & BASE. SEE A9.03
- 03 REPAIR WALL ANY ANY ADDITIONAL SCOPE AFTER PLUMBING WORK

#### LEGEND

- EXISTING WALL
- NEW CONSTRUCTION WALL, 6" ABOVE CEILING. TYP. TO ALL, U.O.N. REFER TO A12.30
- NEW CONSTRUCTION WALL FULL-HEIGHT ACOUSTIC STUD TO UNDERSIDE OF STRUCTURE ABOVE, REFER TO A12.31 AND STRUCTURAL DRAWINGS
- DOOR TAG
- WALL TAG
- AREA NOT IN SCOPE

CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

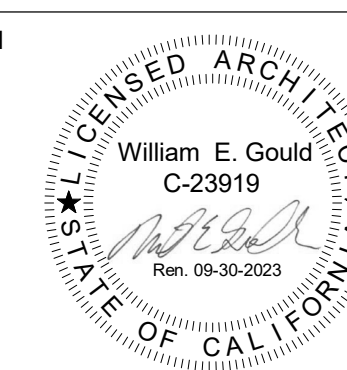
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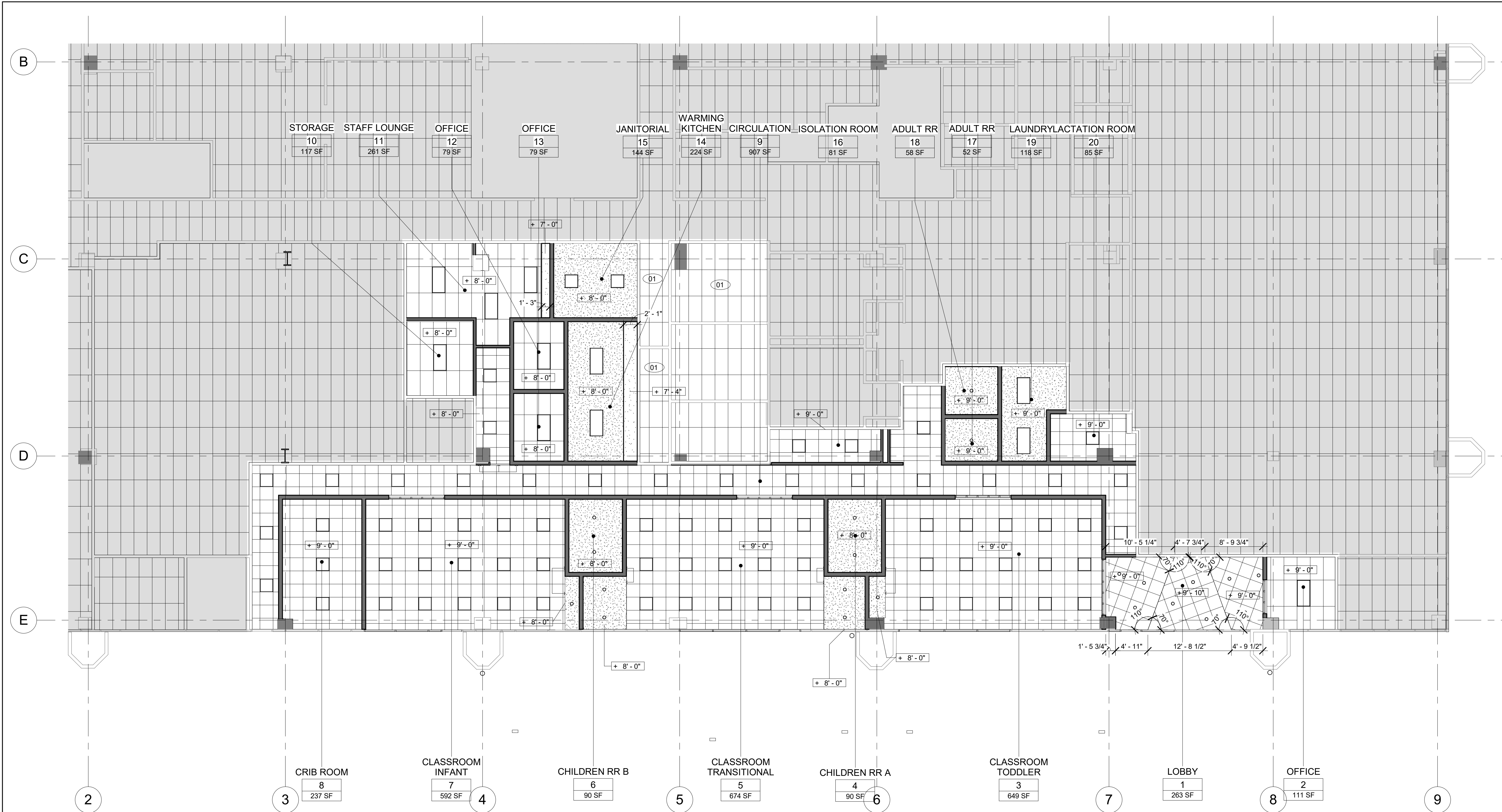
Drawing Title

## FIRST FLOOR RCP

Architect Seal



File No.	Drawing No.
Application No.	A4.01
Date	
Project Number	



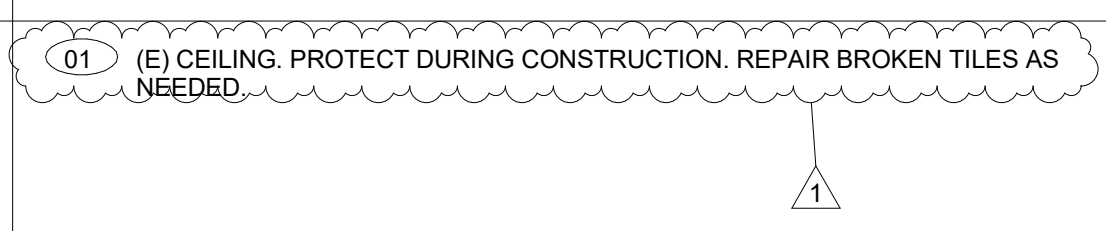
### 1 FIRST FLOOR RCP

SCALE: 1/8" = 1'-0"

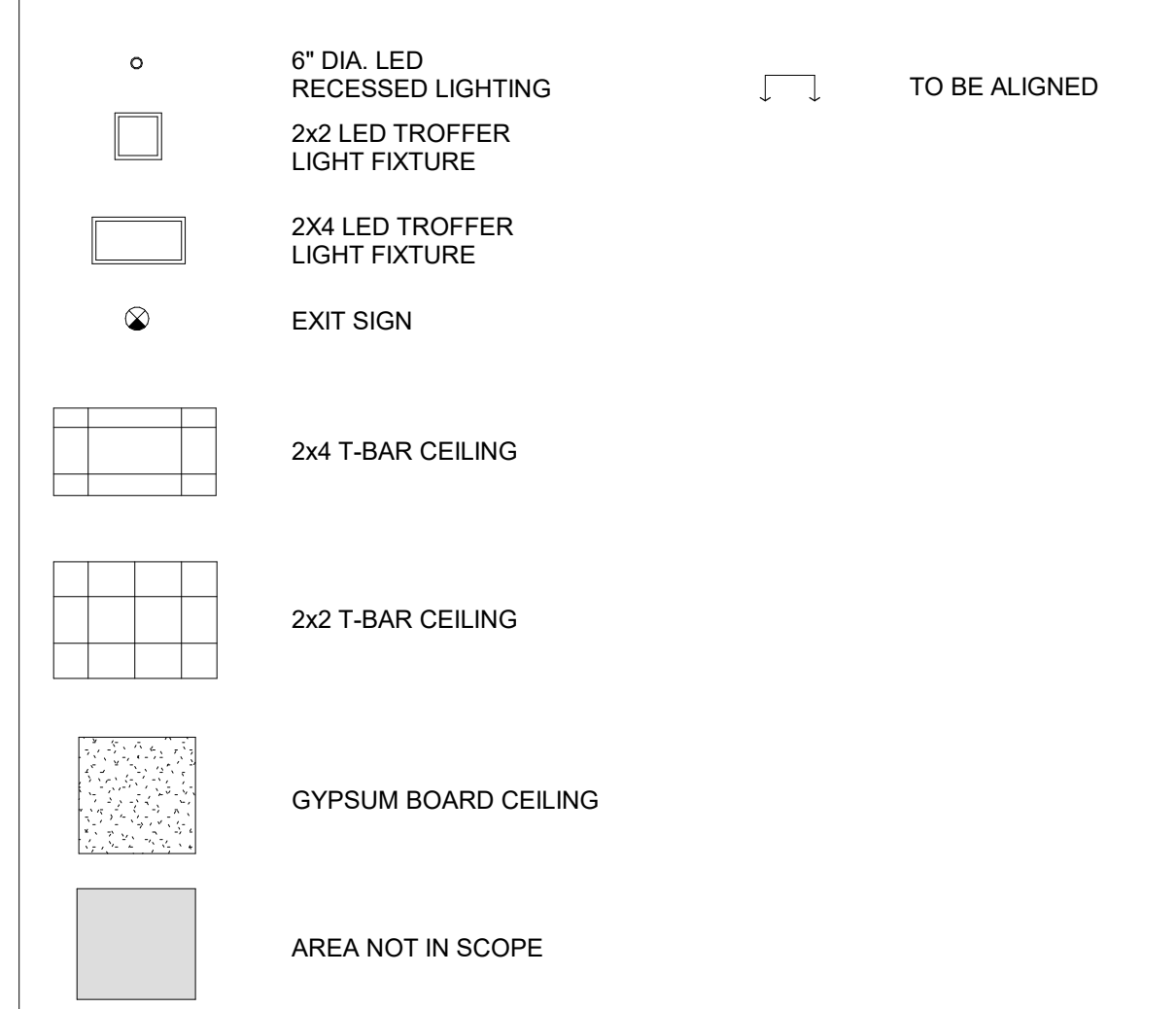
#### GENERAL NOTES

- REFER TO ENLARGED RCP FOR MORE DETAIL.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK IN REFERENCE TO DRAWINGS AND SPECIFICATIONS FROM ALL DISCIPLINES.
- REFER TO FLOOR PLAN AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- LOCATE ALL SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED MECHANICAL, ELECTRICAL, PLUMBING AND SECURITY ITEMS AT THE CENTER OF ACOUSTICAL CEILING PANELS UNLESS OTHERWISE NOTED.
- TYPICALLY LOCATE CEILING GRID SYMMETRICALLY ABOUT THE CENTER OF ROOM IN BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
- LOCATIONS OF MECHANICAL, ELECTRICAL, PLUMBING, AND SECURITY ITEMS SHOWN ON REFLECTED CEILING PLANS ARE FOR ARCHITECTURAL COORDINATION. NOT ALL ITEMS MAY BE SHOWN. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR THE LOCATIONS OF ALL ITEMS.
- COORDINATE THE LAYOUT OF CEILING FRAMING TO ACCOMMODATE THE LOCATIONS, AS SHOWN, OF THE MECHANICAL, ELECTRICAL, PLUMBING AND SECURITY ITEMS EXPOSED TO VIEW. INCLUDING BUT NOT LIMITED TO, LIGHTING FIXTURES, AIR DIFFUSERS AND RETURNS, SPEAKERS, SMOKE DETECTORS, ETC.
- REFLECTED CEILING PLAN MAY INCLUDE DESIGNATIONS OF "TYPICAL ROOMS". ALL DIMENSIONS, SYMBOLS, AND NOTES SHOWN IN SUCH ROOMS ARE TYPICAL FOR SIMILARLY DESIGNATED ROOMS UNLESS OTHERWISE NOTED.
- EXTEND WALL GYP BOARD TO BOTTOM OF ROOF STRUCTURE ABOVE FINISHED CEILING. TYPICAL.
- PROVIDE ACCESS DOORS IN ALL HARDLID AREAS AND WHERE NEEDED PER CBC CODE AND SPECIFICATIONS. GC TO COORDINATE W/ ALL SUBS AND PROVIDE ACCESS DOORS IN ALL HARD LID CEILINGS AS REQUIRED BY CBC CONFIRM LOCATIONS W/ ARCHITECT.
- REFER TO SHEET A12.35 FOR CEILING DETAILS.
- PROVIDE ACCESS PANELS IN WALLS AND CEILINGS AS REQUIRED. GENERAL CONTRACTOR TO COORDINATE SIZES AND QUANTITIES W/ ALL SUB CONTRACTORS AND COORDINATE LOCATIONS W/ ARCHITECT.
- ALL EXPOSED ELEMENTS, INCLUDING, BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION EQUIPMENT, STEEL, AND WOOD, INCLUDING UNDERSIDE OF ROOF TO BE PAINTED.

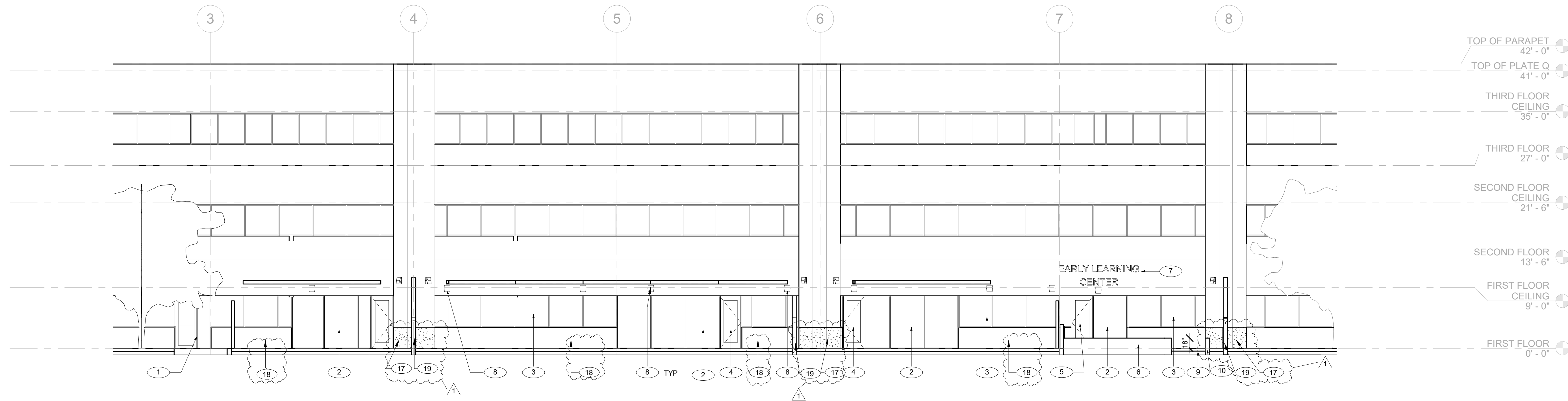
#### KEYNOTE LEGEND



#### LEGEND



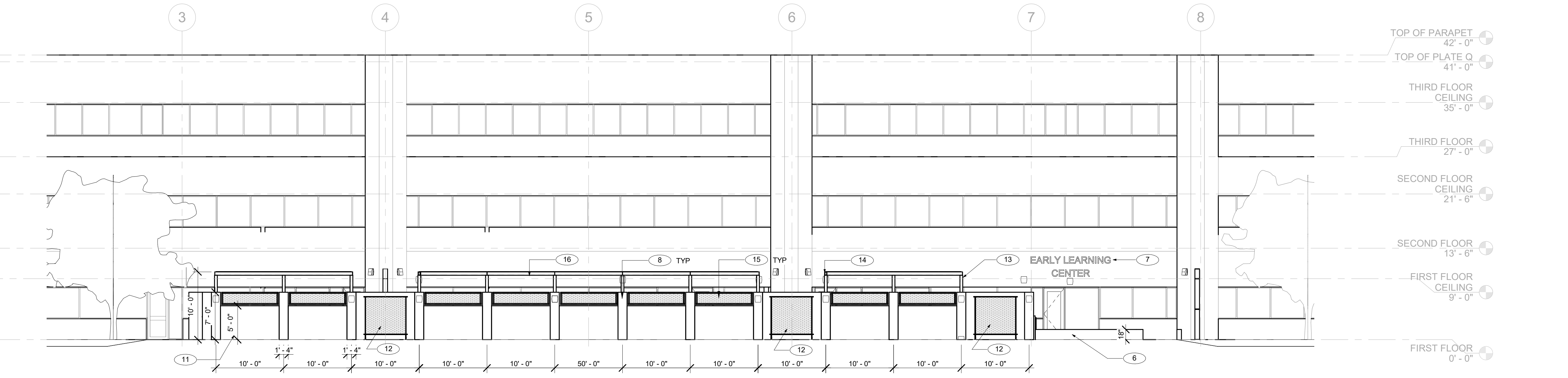
CONSULTANT'S STAMP



TOP OF PARAPET 42'-0"  
TOP OF PLATE Q 41'-0"  
THIRD FLOOR CEILING 35'-0"  
THIRD FLOOR 27'-0"  
SECOND FLOOR CEILING 21'-6"  
SECOND FLOOR 13'-6"  
FIRST FLOOR CEILING 9'-0"  
FIRST FLOOR 0'-0"

1 NORTH ELEVATION STOREFRONT

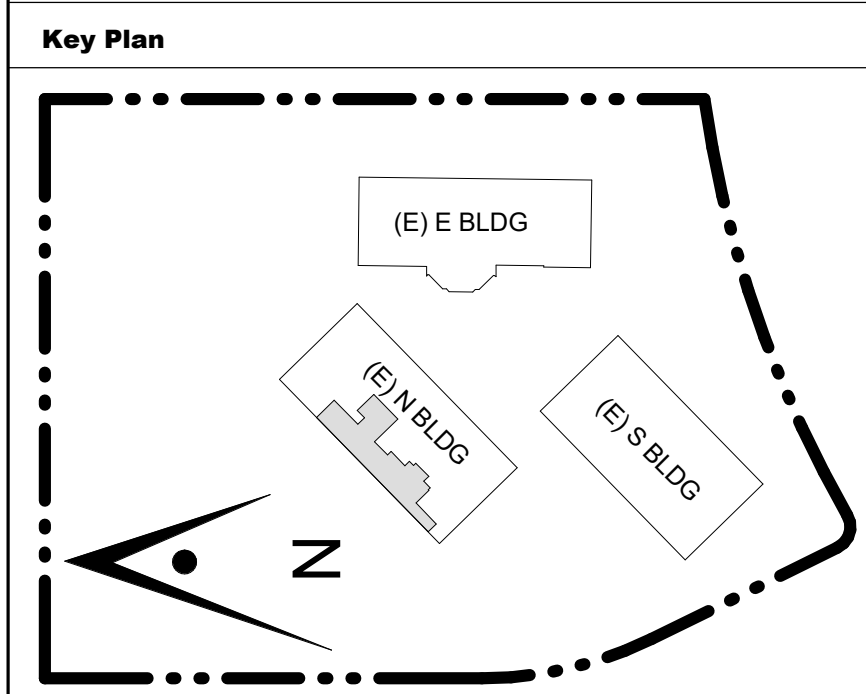
1/8" = 1'-0"



TOP OF PARAPET 42'-0"  
TOP OF PLATE Q 41'-0"  
THIRD FLOOR CEILING 35'-0"  
THIRD FLOOR 27'-0"  
SECOND FLOOR CEILING 21'-6"  
SECOND FLOOR 13'-6"  
FIRST FLOOR CEILING 9'-0"  
FIRST FLOOR 0'-0"

2 NORTH ELEVATION W/ STUCCO FENCE

1/8" = 1'-0"



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**SCCOE EARLY LEARNING CENTER**

1290 Ridder Park Dr, San Jose

**SANTA CLARA COUNTY OFFICE OF EDUCATION**

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	1ST BUILDING RESUBMITTAL	10/26/22
1	ADDENDUM 1	08/16/23

**GENERAL NOTES**

- REFER TO FLOOR PLAN, REFLECTED CEILING PLAN, AND SECTIONS FOR ADDITIONAL INFORMATION.
- ALL PENETRATIONS THROUGH EXTERIOR ROOF AND WALLS, AND FLOORS SHALL BE FLASHED AND SEALED WEATHER TIGHT. ALL PENETRATIONS THROUGH THE BUILDING INSULATION ENVELOPE SHALL BE PACKED WITH INSULATION.
- REFER TO SHEET A9.04 FOR GLAZING TYPES.

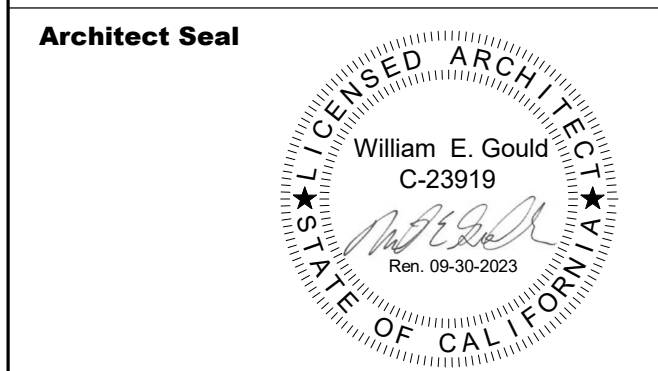
**KEYNOTES**

- 1 (E) ENTRY DOOR
- 2 (N) STOREFRONT, SEE A9.02
- 3 (E) STOREFRONT
- 4 (N) DOOR TO PLAYGROUND
- 5 (N) ENTRY DOOR
- 6 (N) SEAT WALL, S.L.D.
- 7 (N) 12" HEIGHT ALUMINIUM SIGN MOUNTED ON EXTERIOR WALL, C.F.C.I. SIGN PERMIT UNDER SEPARATE CITY PERMIT.
- 8 (N) LIGHT MOUNTED ON WALL, TYP. S.E.D.
- 9 NEW SLOPED WALKWAY S.C.D & S.L.D
- 10 (N) RETAINING WALL, S.C.D
- 11 (N) STUCCO WALL, S.S.D & A12.32
- 12 (N) MODULAR PLANT TRELLIS, BASIS OF DESIGN VERTIGREEN BY TOURNERSOL
- 13 (N) 4X4 HSS POST, PAINTED, S.S.D
- 14 (N) 4X6 HSS BEAM, PAINTED S.S.D
- 15 (N) ORNAMENTAL CUT STEEL PANEL, PAINTED, SEE A12.13
- 16 (N) STEEL TRELLIS WITH ORNAMENTAL CUT STEEL PANELS ABOVE, S.S.D & A12.13
- 17 NEW STUCCO FINISH TO MATCH ADJACENT EXISTING, SEE2/A12.32
- 18 CLEAN, REPAIR CRACKS AND RESURFACE (E) CONCRETE WALL, PAINT IT.
- 19 NEW DOWNSPOUT, SEE 98/10/ A12.32

**GRAPHIC KEY**

**Drawing Title**

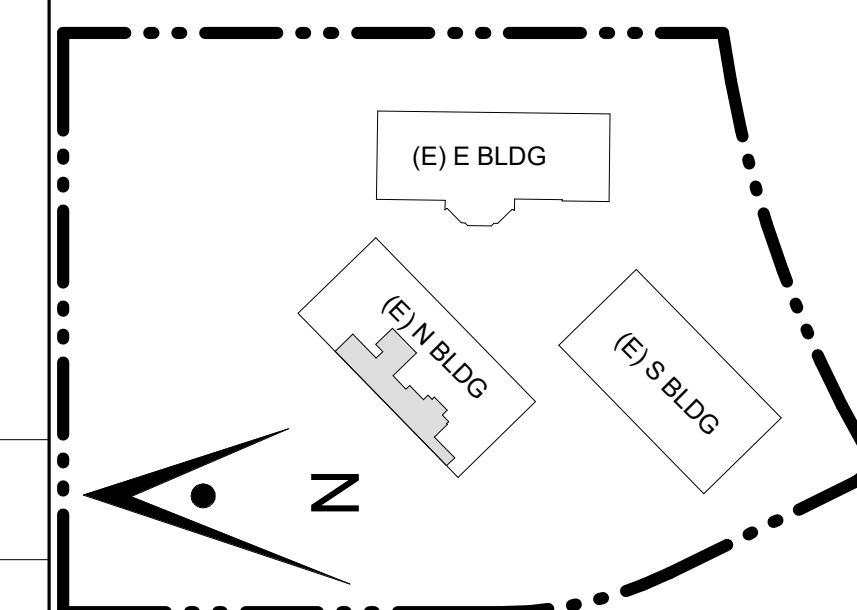
**EXTERIOR ELEVATIONS**



<b>File No.</b>	<b>Drawing No.</b>
<b>Application No.</b>	<b>A6.01</b>
<b>Date</b>	
<b>Project Number</b>	

CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

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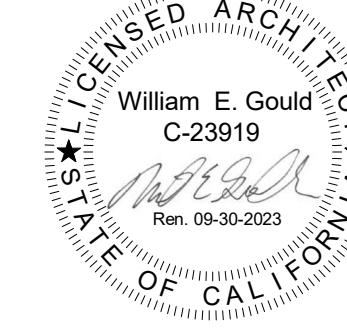
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	ISSUED FOR PERMIT	05/03/22
1	ADDENDUM 1	08/16/23
	CCD 01	2/24/23

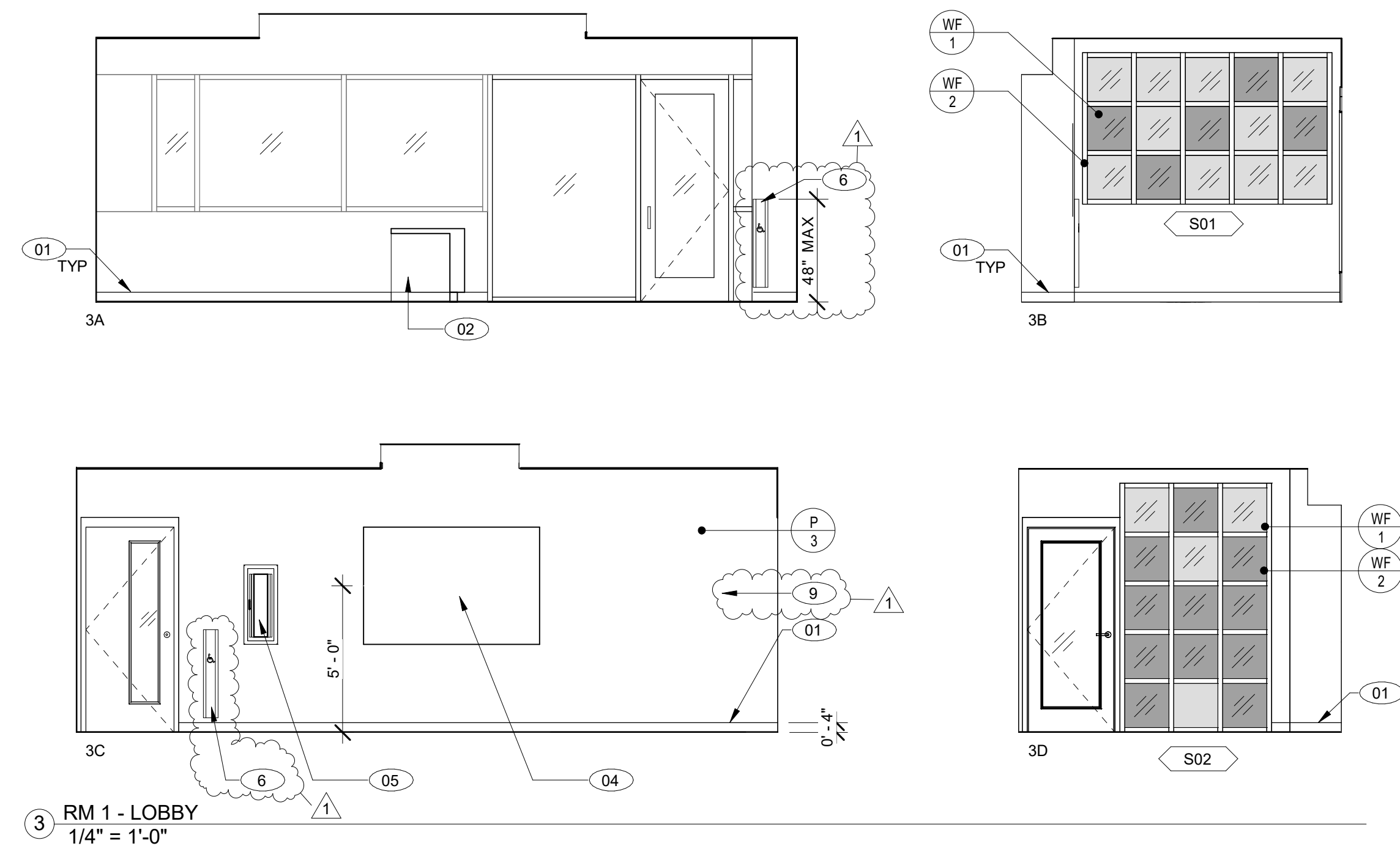
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## ENLARGED PLANS & INTERIOR ELEV - LOBBY & OFFICE RM #1 & 2

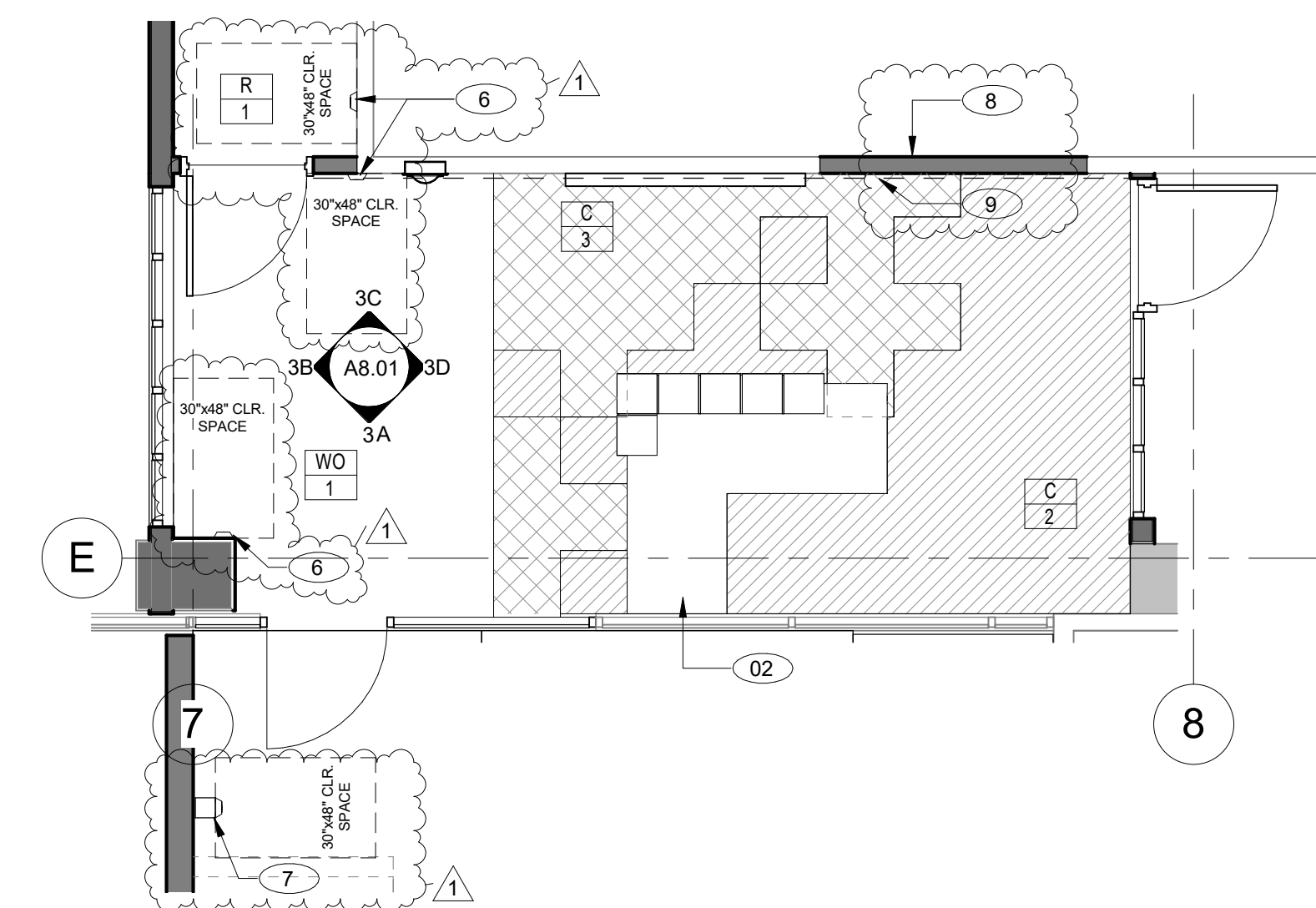
Architect Seal



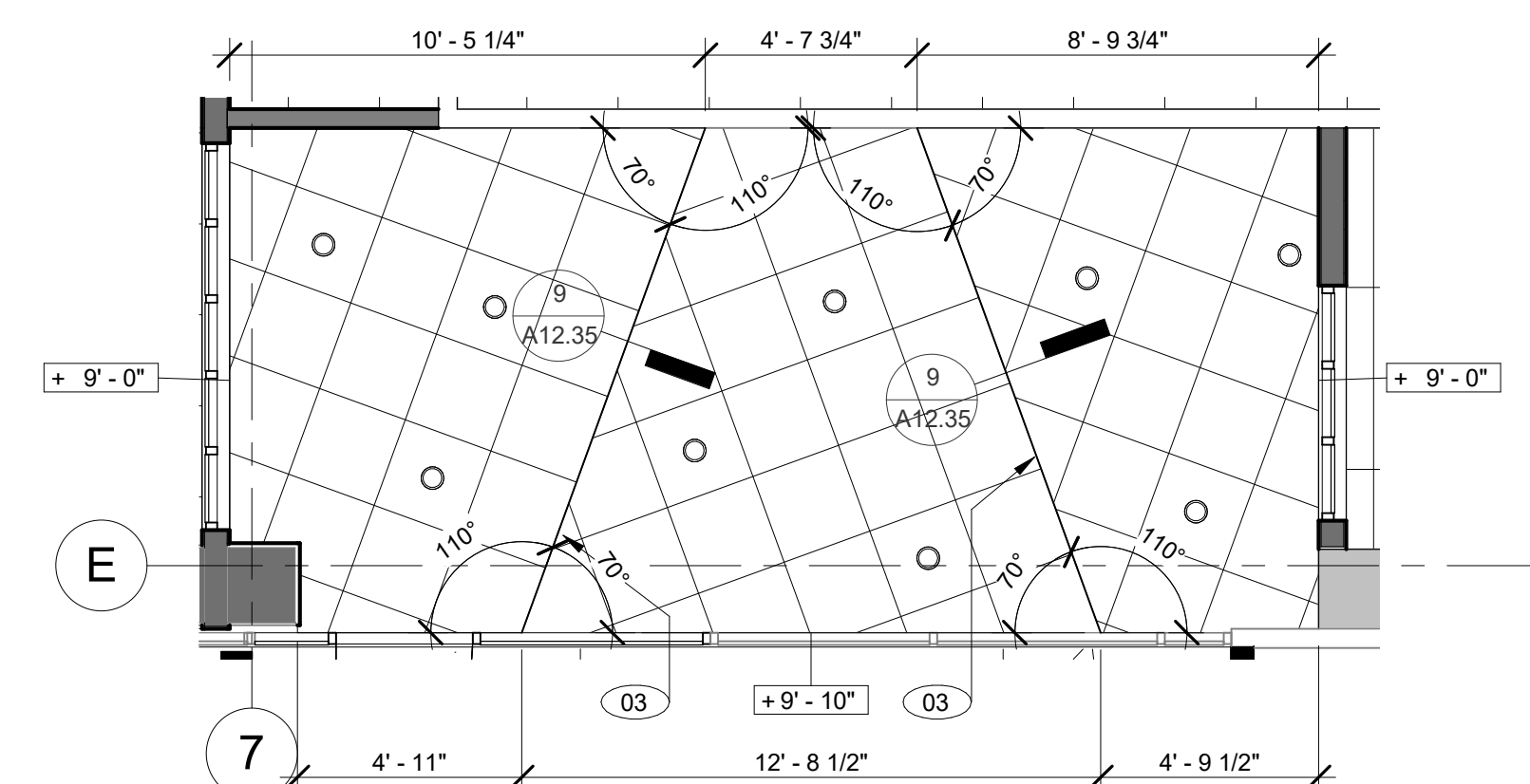
File No.	Drawing No.
Application No.	A8.01
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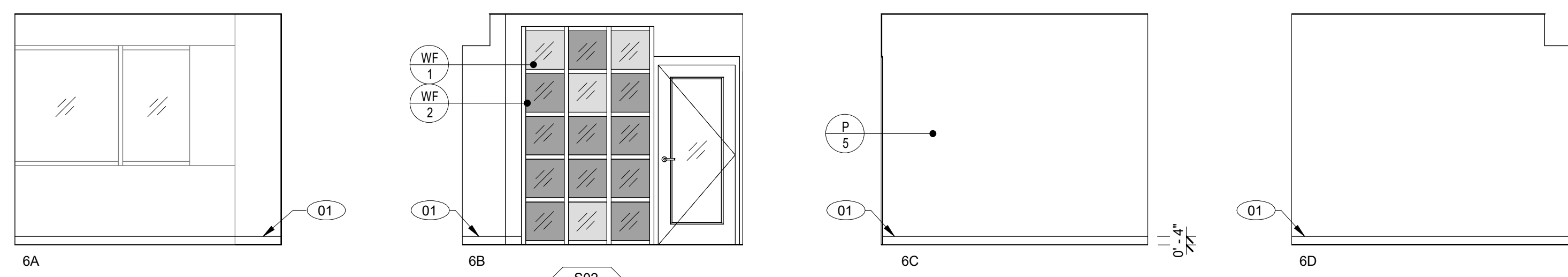
3 RM 1 - LOBBY  
1/4" = 1'-0"



1 LOBBY RM #1  
SCALE: 1/4" = 1'-0"



2 LOBBY RM #1 - RCP  
SCALE: 1/4" = 1'-0"



6 RM 2 - OFFICE  
1/4" = 1'-0"

### GENERAL NOTES

- REFER TO FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
- REFER TO DOOR SCHEDULE FOR MORE DETAIL.
- REFER TO REFLECTED CEILING PLAN FOR MORE DETAIL.
- PROVIDE FRAMING, SUPPORTS, BACKING/BLOCKING, ETC. REQUIRED FOR INSTALLATION OF ALL RECESSED/WALL MOUNTED ITEMS AND CONCEALED IN WALL UTILITIES.
- REFER TO A12.20 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER DISCIPLINES.
- LOCATIONS OF MECHANICAL, ELECTRICAL, PLUMBING, AND SECURITY ITEMS SHOWN ON INTERIOR ELEVATIONS ARE FOR ARCHITECTURAL COORDINATION. NOT ALL ITEMS MAY BE SHOWN. REFER TO MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS FOR QUANTITIES.
- CONTINUE ALL FINISHES BEHIND ALL WALL MOUNTED ITEMS, INCLUDING, BUT NOT LIMITED TO, ACCESSORIES, THERMOSTATS, VISUAL DISPLAY UNITS.
- REFER TO SHEET A12.00 FOR CASEWORK DETAILS.
- ALL EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT TO BE PAINTED.
- ALL EXPOSED STEEL TO BE PAINTED.

### KEYNOTE LEGEND

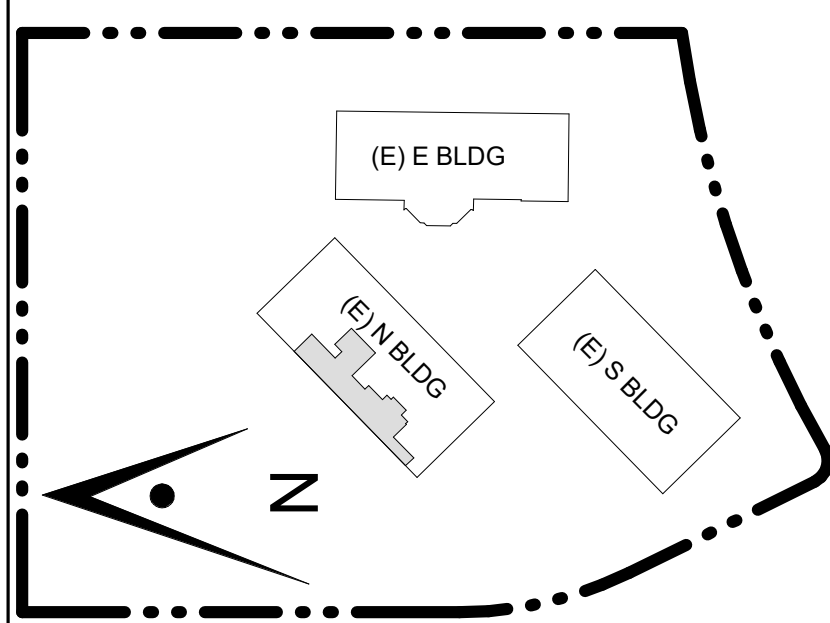
- 01 RUBBER BASE, REFER TO FINISH SCHEDULE
- 02 CUSTOM ADJUSTABLE HEIGHT RECEPTION DESK, SEE SHEET A8.12
- 03 MULTI-LEVEL CEILING TO HAVE ENCLOSED GAPS BETWEEN LEVELS
- 04 RECESSED POWER/DATA FOR TV MONITOR, REFER TO 5.6/A12.31
- 05 SEMI-RECESSED FIRE EXTINGUISHER CABINETS. REFER TO DETAIL 18/A12.20
- 6 ADA DOOR ACTUATOR, S.E.D
- 7 WALL-MOUNTED ADA DOOR ACTUATOR, S.E.D
- 8 PROVIDE (N) FINISHES ON THE MEETING ROOM SIDE TO THE FIRST JOINT FOR THE WALL, BASE, SOFFIT (ABOUT 7' LONG)
- 9 (N) GYP BOARD FINISH, PAINTED

### LEGEND

- EXISTING WALL
- NEW CONSTRUCTION WALL
- WALL / WINDOW FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- MILLWORK FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- FLOOR FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- KEYNOTE
- INDICATES GLAZING
- C-2 CARPET, REFER TO A9.03 FOR FINISH SCHEDULE
- C-3 CARPET, REFER TO A9.03 FOR FINISH SCHEDULE
- R-3, REFER TO A9.03 FOR FINISH SCHEDULE
- R-4, REFER TO A9.03 FOR FINISH SCHEDULE
- R-5, REFER TO A9.03 FOR FINISH SCHEDULE

CONSULTANT'S STAMP

Key Plan



Project Title

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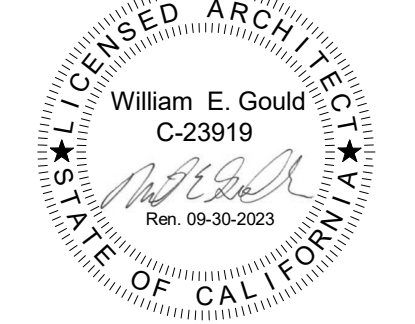
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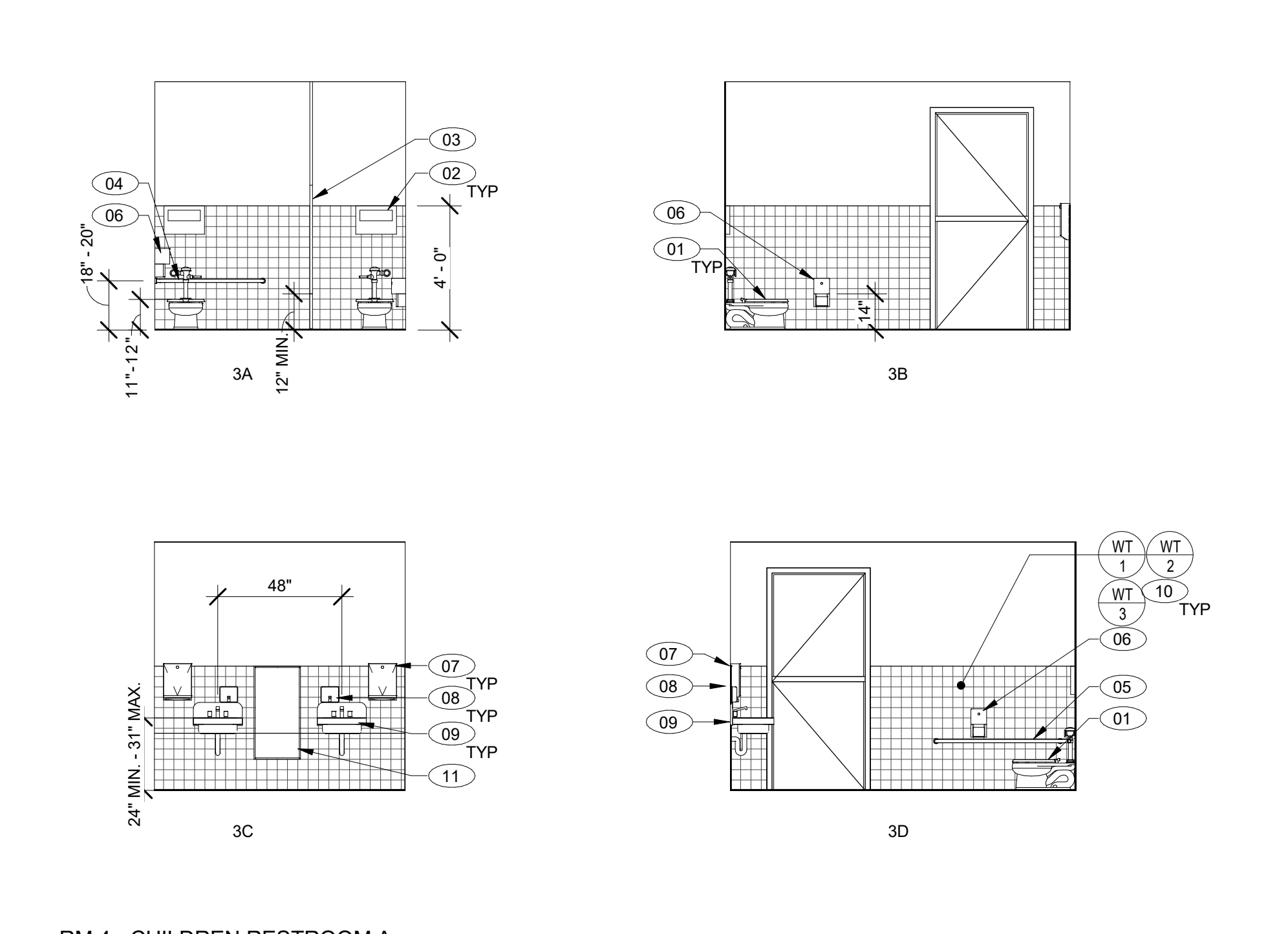
Drawing Title

**ENLARGED PLANS & INTERIOR ELEV - CHILDREN RESTROOM A & B RM #4 & 6**

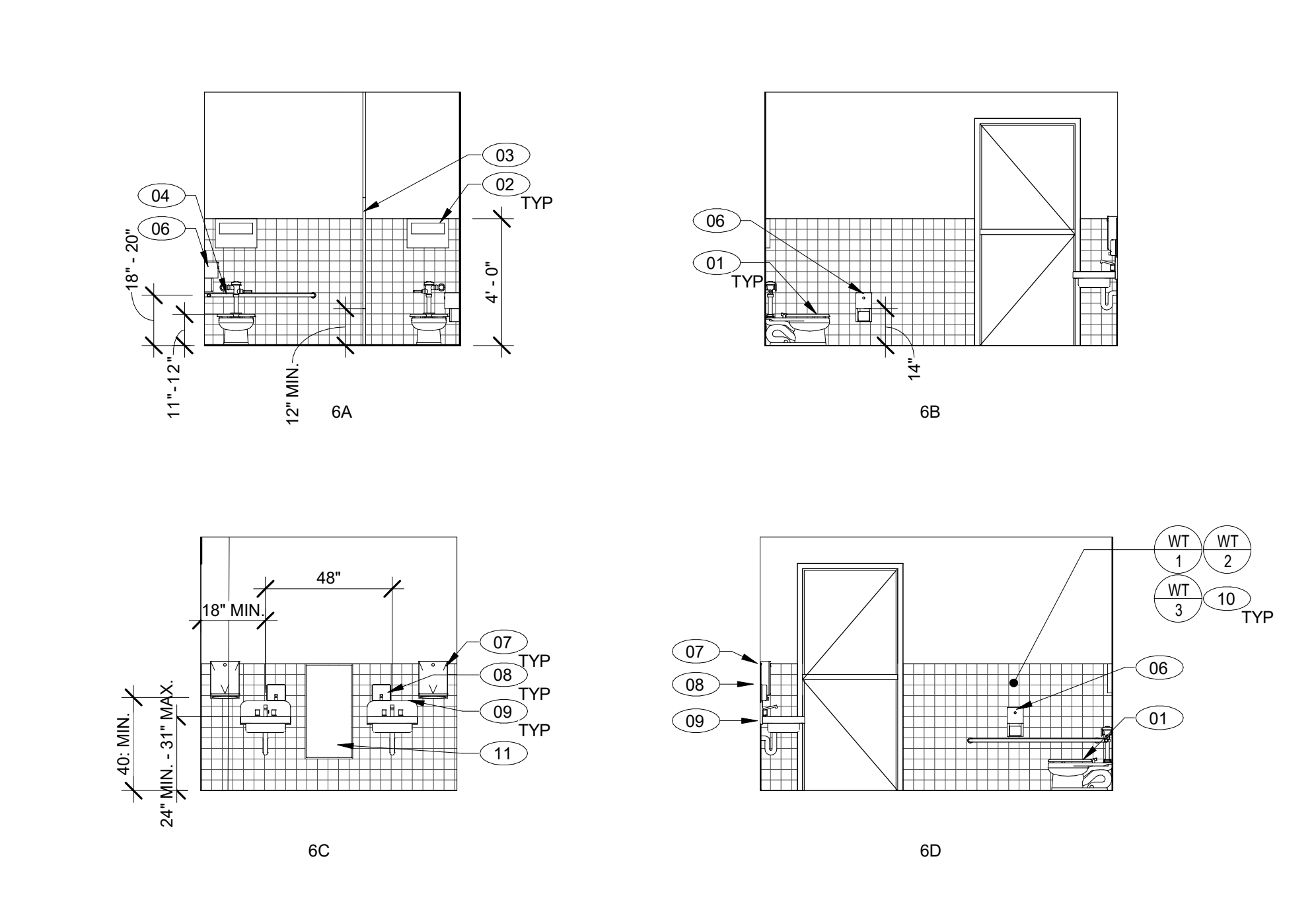
Architect Seal



File No.	Drawing No.
Application No.	<b>A8.03</b>
Date	
Project Number	



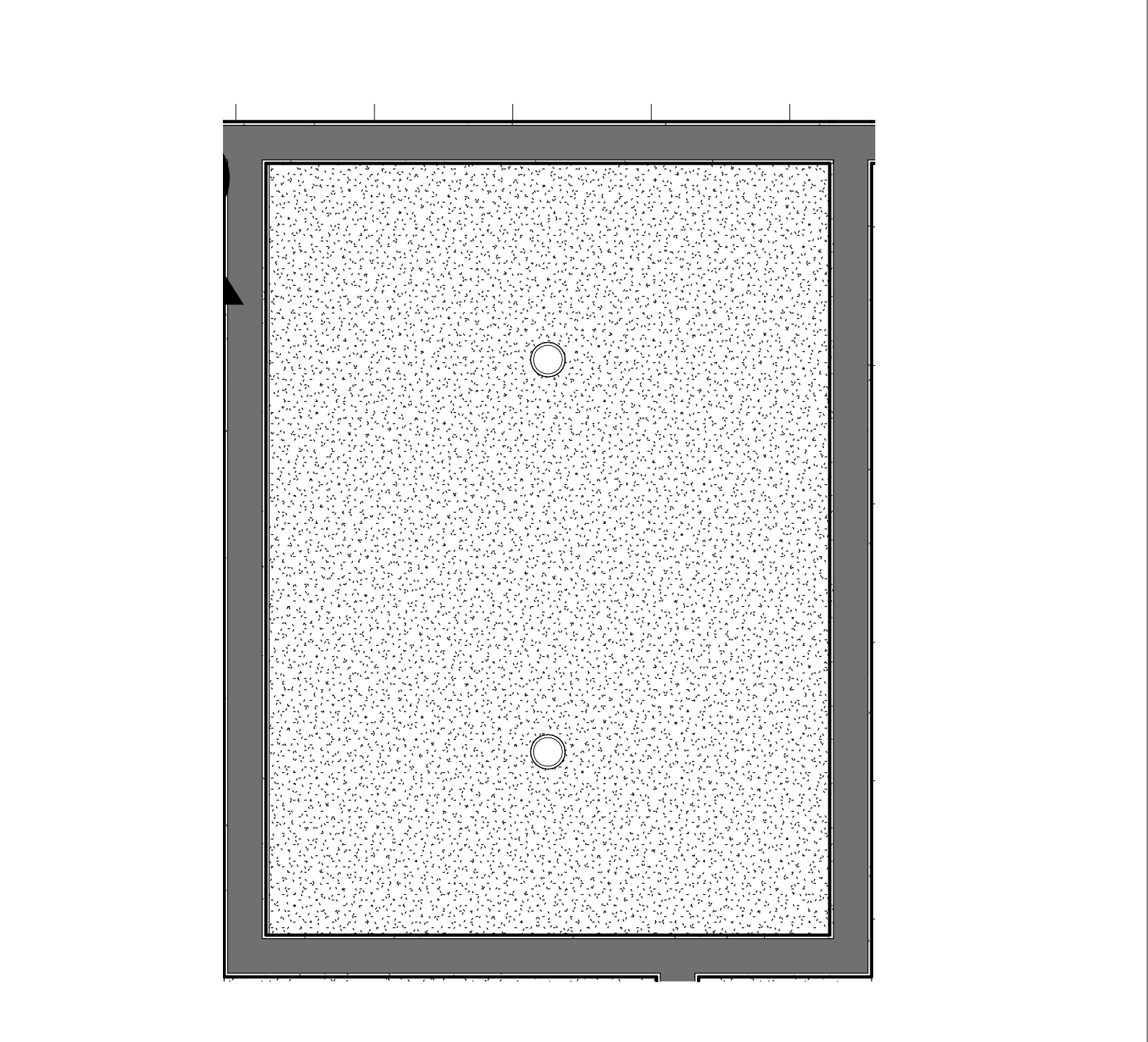
**3 RM 4 - CHILDREN RESTROOM A**  
1/4" = 1'-0"



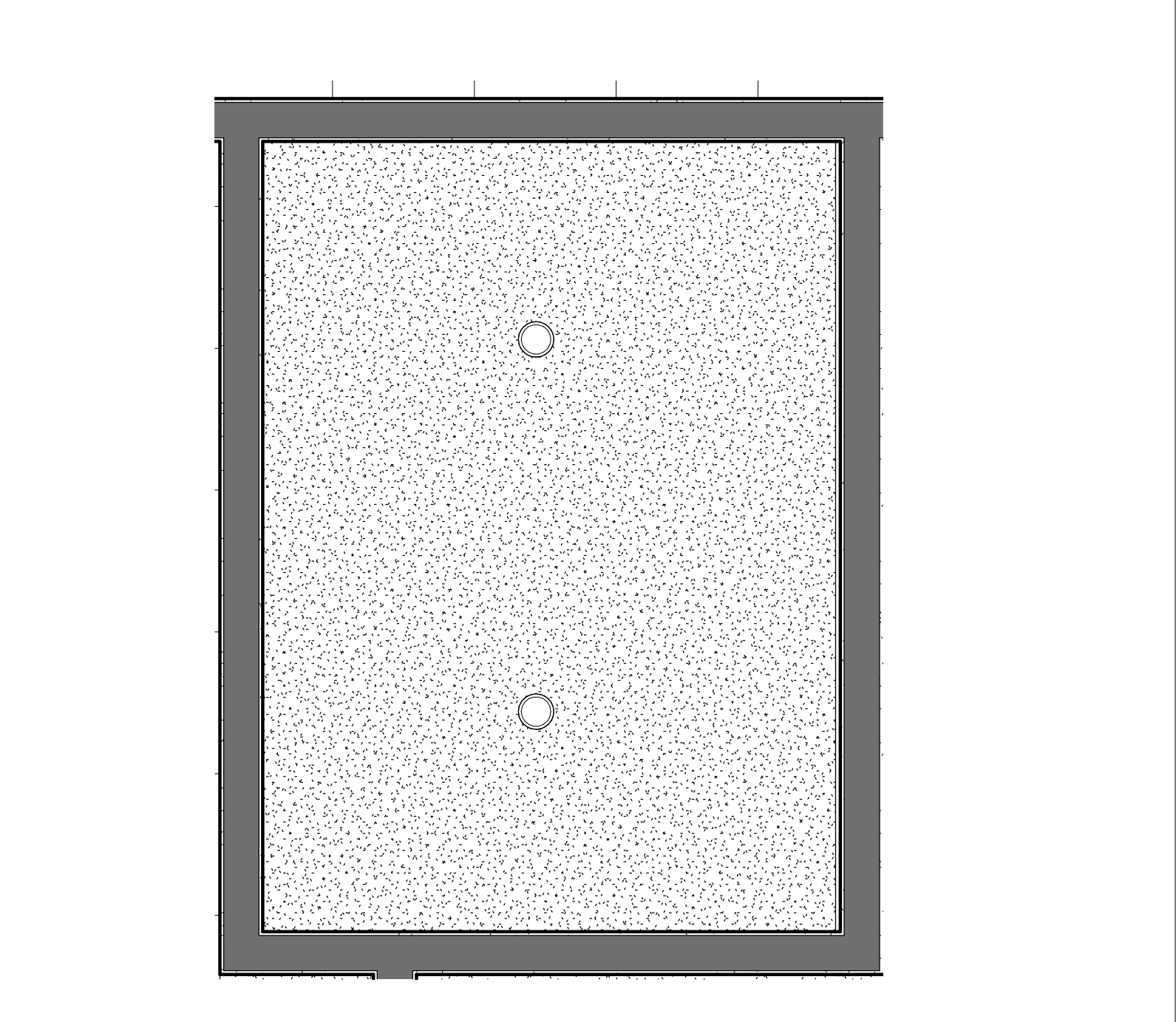
**6 RM 6 - CHILDREN RESTROOM B**  
1/4" = 1'-0"

**GENERAL NOTES**

- REFER TO FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
- REFER TO DOOR SCHEDULE FOR MORE DETAIL.
- REFER TO REFLECTED CEILING PLAN FOR MORE DETAIL.
- PROVIDE FRAMING, SUPPORTS, BACKING/BLOCKING, ETC. REQUIRED FOR INSTALLATION OF ALL RECESSED/WALL MOUNTED ITEMS AND CONCEALED IN WALL UTILITIES.
- REFER TO A12.20 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER DISCIPLINES.
- LOCATIONS OF MECHANICAL, ELECTRICAL, PLUMBING, AND SECURITY ITEMS SHOWN ON INTERIOR ELEVATIONS ARE FOR ARCHITECTURAL COORDINATION. NOT ALL ITEMS MAY BE SHOWN. REFER TO MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS FOR QUANTITIES.
- CONTINUE ALL FINISHES BEHIND ALL WALL MOUNTED ITEMS, INCLUDING, BUT NOT LIMITED TO, ACCESSORIES, THERMOSTATS, VISUAL DISPLAY UNITS.
- REFER TO SHEET A12.60 FOR CASEWORK DETAILS.
- ALL EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT TO BE PAINTED.
- ALL EXPOSED STEEL TO BE PAINTED.



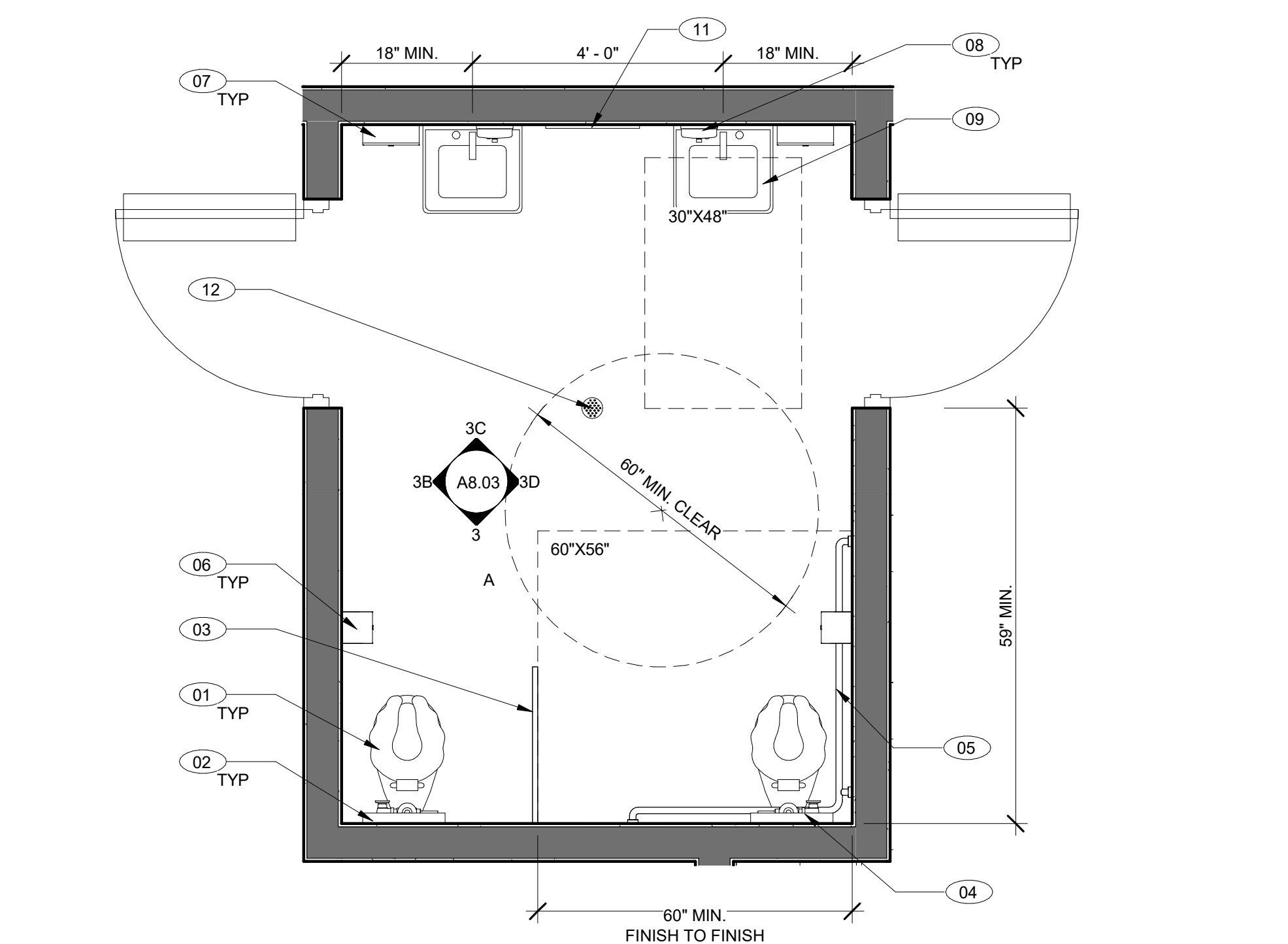
**2 CHILDREN RESTROOM A RM #4 - RCP**  
SCALE: 1/2" = 1'-0"



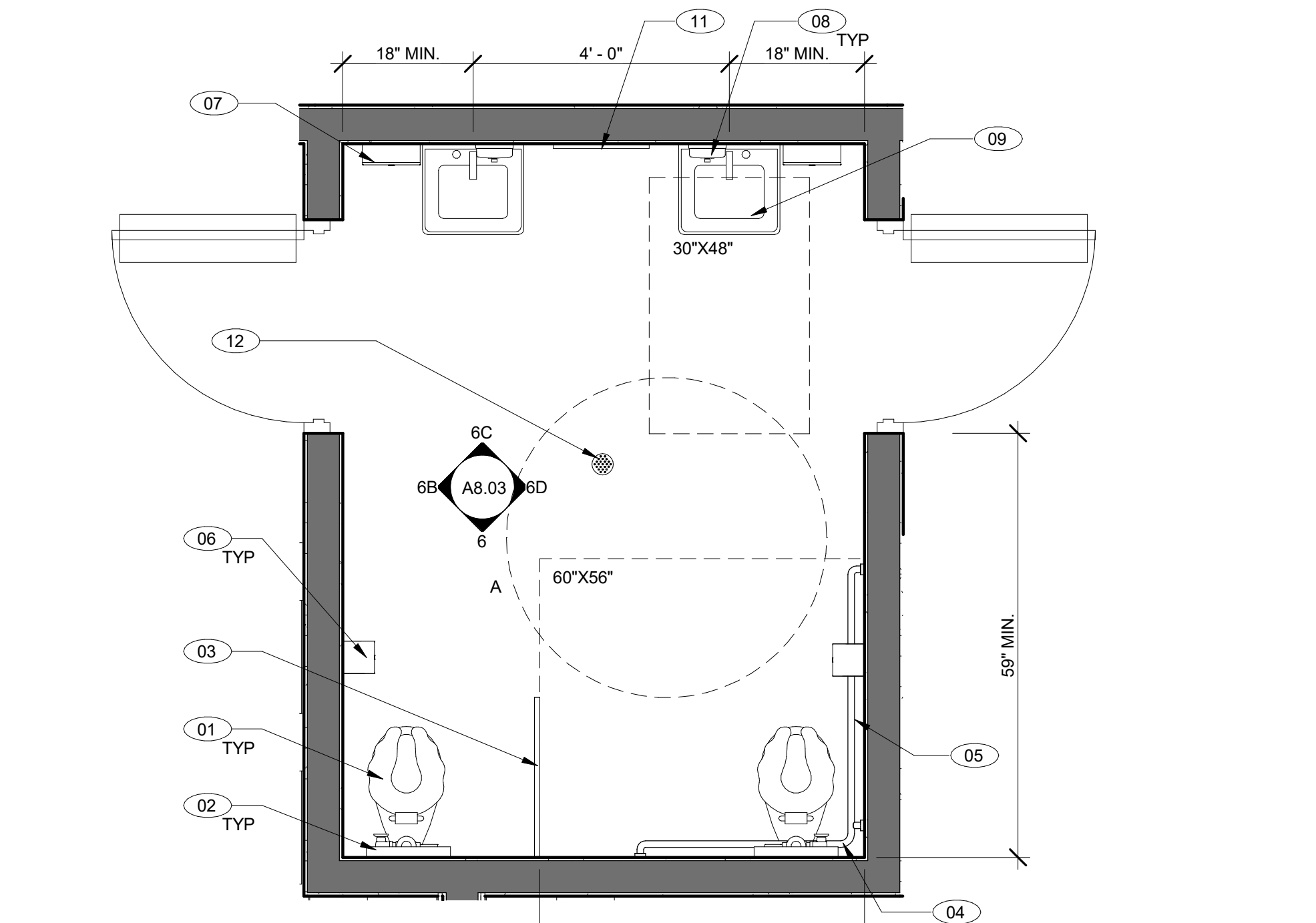
**5 CHILDREN RESTROOM B RM #6 - RCP**  
SCALE: 1/2" = 1'-0"

**KEYNOTE LEGEND**

- 01 ACCESSIBLE TOILET, REFER TO 20/A12.20
- 02 TOILET SEAT DISPENSER, REFER TO 20/A12.20
- 03 TOILET PARTITION, FLOOR TO CEILING MOUNTED
- 04 36" GRAB BAR, REFER TO 20/A12.20
- 05 42" GRAB BAR, REFER TO 20/A12.20
- 06 TOILET TISSUE DISPENSER, REFER TO 20/A12.20
- 07 PAPER TOWEL DISPENSER, REFER TO 20/A12.20
- 08 SOAP DISPENSER, REFER TO 20/A12.20
- 09 ACCESSIBLE SINK, REFER TO 13/A12.20 AND 2/A12.60
- 10 4"x4" WALL TILE, HORIZONTAL GRID, 4'-0" HT. RANDOMIZED 60% WT-1, 20% WT-2, 20% WT-3
- 11 MIRROR, REFER TO 20/A12.20
- 12 FLOOR DRAIN, 2% MAX ALL DIRECTIONS. REFER TO PLUMBING DRAWINGS



**1 CHILDREN RESTROOM A RM #4**  
SCALE: 1/2" = 1'-0"



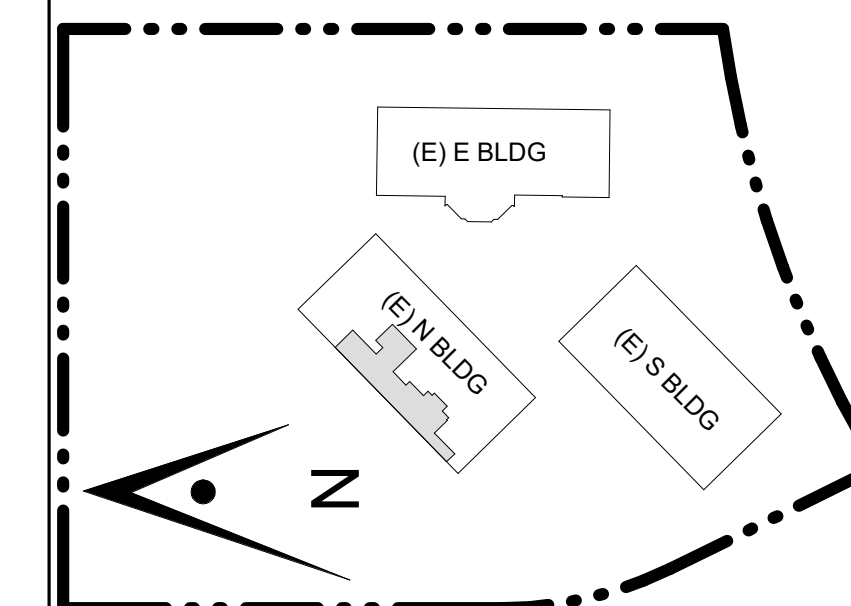
**4 CHILDREN RESTROOM B RM #6**  
SCALE: 1/2" = 1'-0"

**LEGEND**

- [Thin line] EXISTING WALL
- [Thick line] NEW CONSTRUCTION WALL
- [A #] WALL / WINDOW FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- [A #] MILLWORK FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- [A #] FLOOR FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- [Circle] KEYNOTE
- [Double slash] INDICATES GLAZING

CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

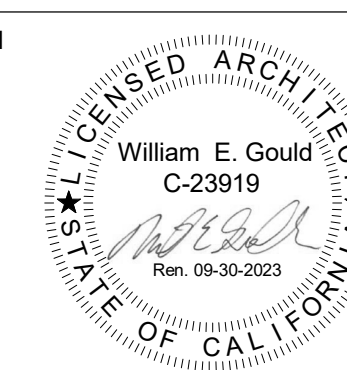
SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
1	ISSUED FOR PERMIT	05/03/22
1	ADDENDUM 1	08/16/23

Drawing Title

## ENLARGED PLANS & INTERIOR ELEV - STAFF LOUNGE & OFFICE RM #11 & 12

Architect Seal



File No.

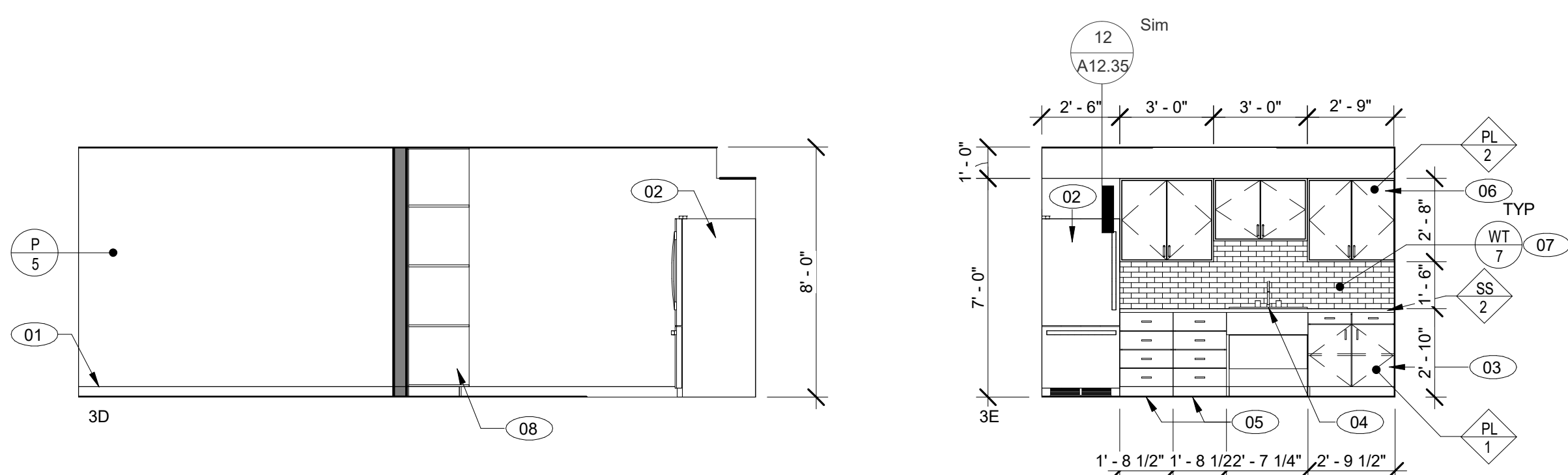
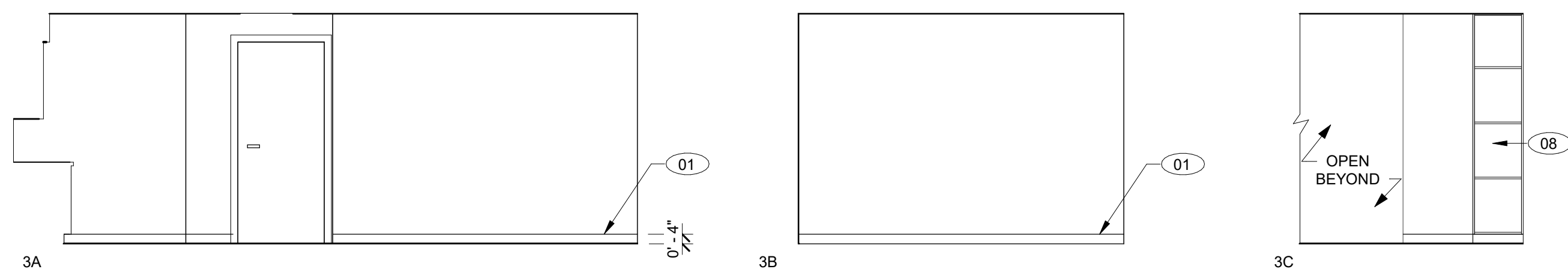
Application No.

Date

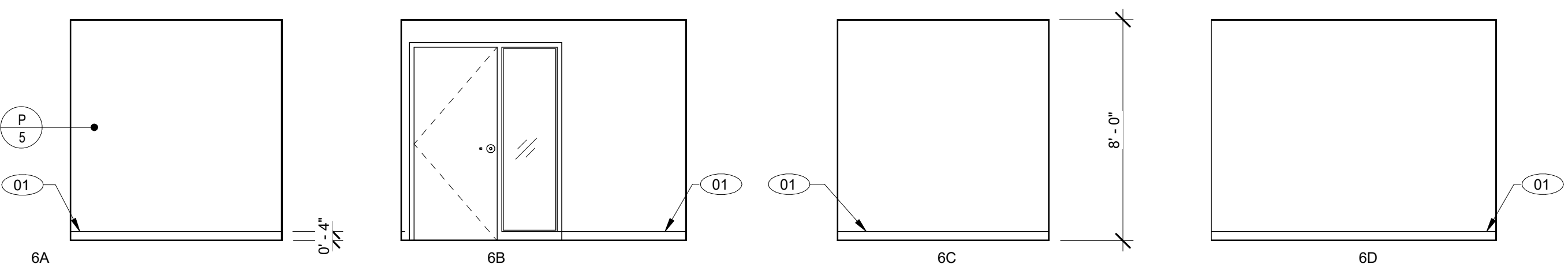
Project Number

Drawing No.

A8.07



3 RM 11 - STAFF LOUNGE  
1/4" = 1'-0"



6 OFFICE RM #12  
1/4" = 1'-0"

### GENERAL NOTES

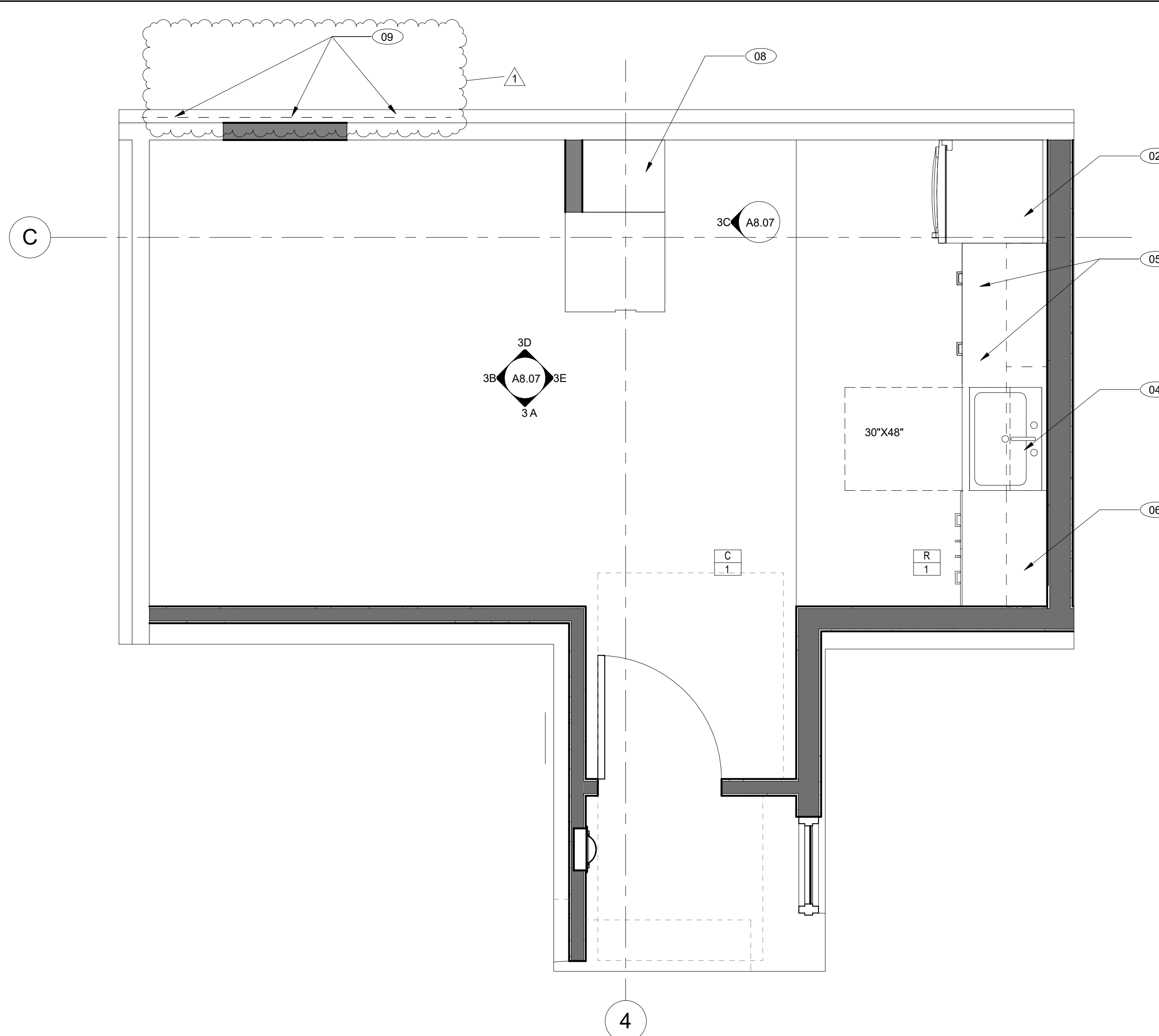
- REFER TO FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
- REFER TO DOOR SCHEDULE FOR MORE DETAIL.
- REFER TO REFLECTED CEILING PLAN FOR MORE DETAIL.
- PROVIDE FRAMING, SUPPORTS, BACKING/BLOCKING, ETC. REQUIRED FOR INSTALLATION OF ALL RECESSED/WALL MOUNTED ITEMS AND CONCEALED IN WALL UTILITIES.
- REFER TO A12.20 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER DISCIPLINES.
- LOCATIONS OF MECHANICAL, ELECTRICAL, PLUMBING, AND SECURITY ITEMS SHOWN ON INTERIOR ELEVATIONS ARE FOR ARCHITECTURAL COORDINATION. NOT ALL ITEMS MAY BE SHOWN. REFER TO MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS FOR QUANTITIES.
- CONTINUE ALL FINISHES BEHIND ALL WALL MOUNTED ITEMS, INCLUDING, BUT NOT LIMITED TO, ACCESSORIES, THERMOSTATS, VISUAL DISPLAY UNITS.
- REFER TO SHEET A12.60 FOR CASEWORK DETAILS.
- ALL EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT TO BE PAINTED.
- ALL EXPOSED STEEL TO BE PAINTED.

### KEYNOTE LEGEND

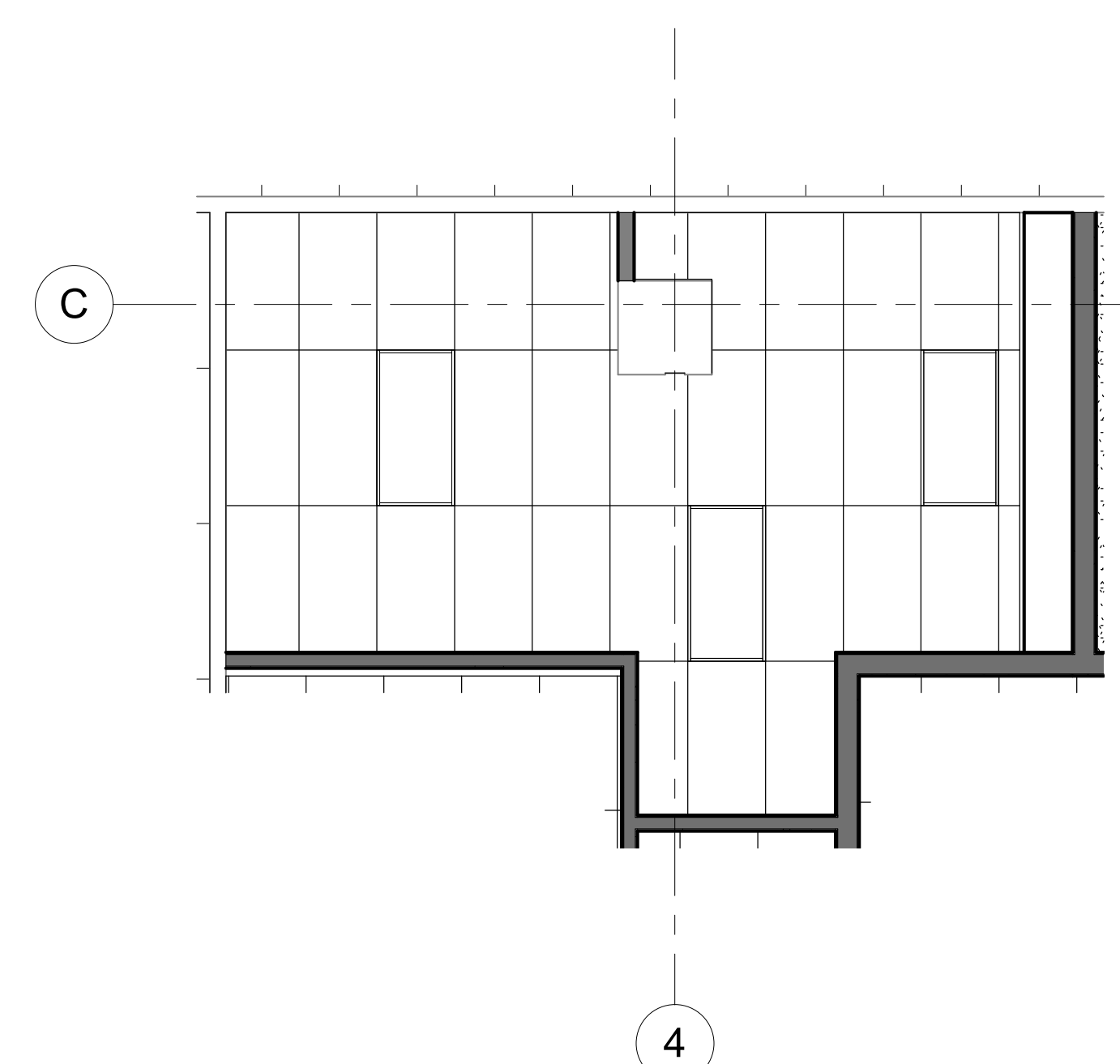
- 01 RUBBER BASE, REFER TO FINISH SCHEDULE
- 02 REFRIGERATOR, OFCI
- 03 DOUBLE DOOR BASE CABINET WITH DRAWERS
- 04 ACCESSIBLE SINK, REFER TO 13/A12.20 AND 2/A12.60
- 05 CUSTOM 4 - DRAWER BASE CABINET, REFER TO A12.60
- 06 WALL HUNG DOUBLE DOOR UPPER CABINET
- 07 3"X6" TILE BACKSPASH, BRICK
- 08 BUILT-IN PANTRY WITH ADJUSTABLE SHELES, REFER TO 15/A12.60
- 09 PROVIDE (N) FINISHES ON THE CORRIDOR SIDE TO THE FIRST JOINT FOR THE WALL AND BASE (ABOUT 7' LONG)

### LEGEND

- EXISTING WALL
- NEW CONSTRUCTION WALL
- WALL / WINDOW FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- MILLWORK FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- FLOOR FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- KEYNOTE
- INDICATES GLAZING



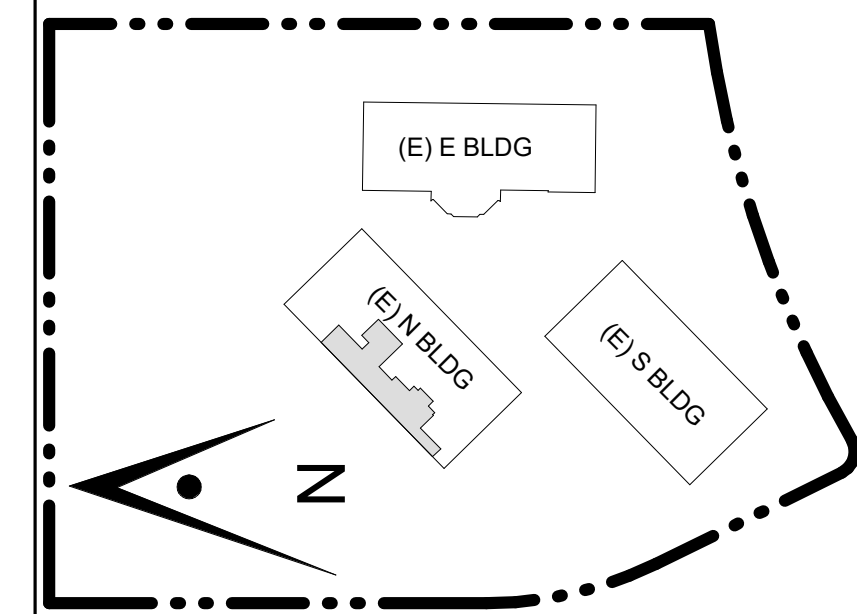
1 STAFF LOUNGE RM #11  
SCALE: 1/2" = 1'-0"



2 STAFF LOUNGE RM #11 - RCP  
SCALE: 1/4" = 1'-0"

CONSULTANT'S STAMP

Key Plan



Project Title

**SCCOE EARLY LEARNING CENTER**

1290 Ridder Park Dr, San Jose

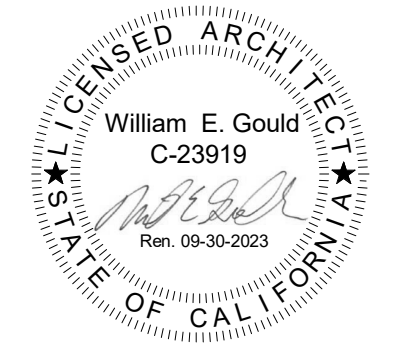
SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
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	1ST BUILDING RESUBMITTAL	10/26/22
	ADDENDUM 1	08/16/23

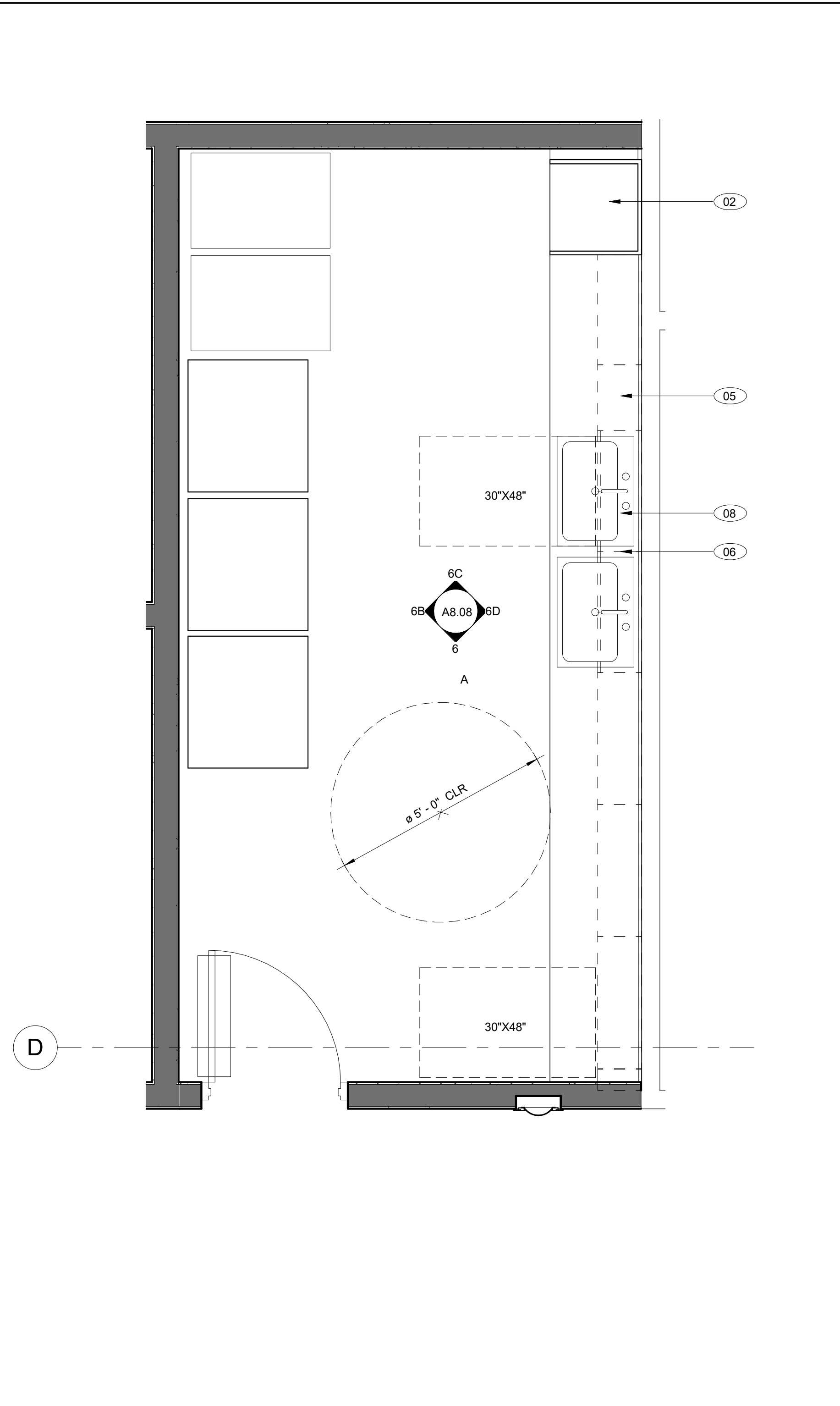
Drawing Title

**ENLARGED PLANS & INTERIOR ELEV - OFFICE & WARMING KITCHEN RM #13 & 14**

Architect Seal



File No.	Drawing No.
Application No.	<b>A8.08</b>
Date	
Project Number	



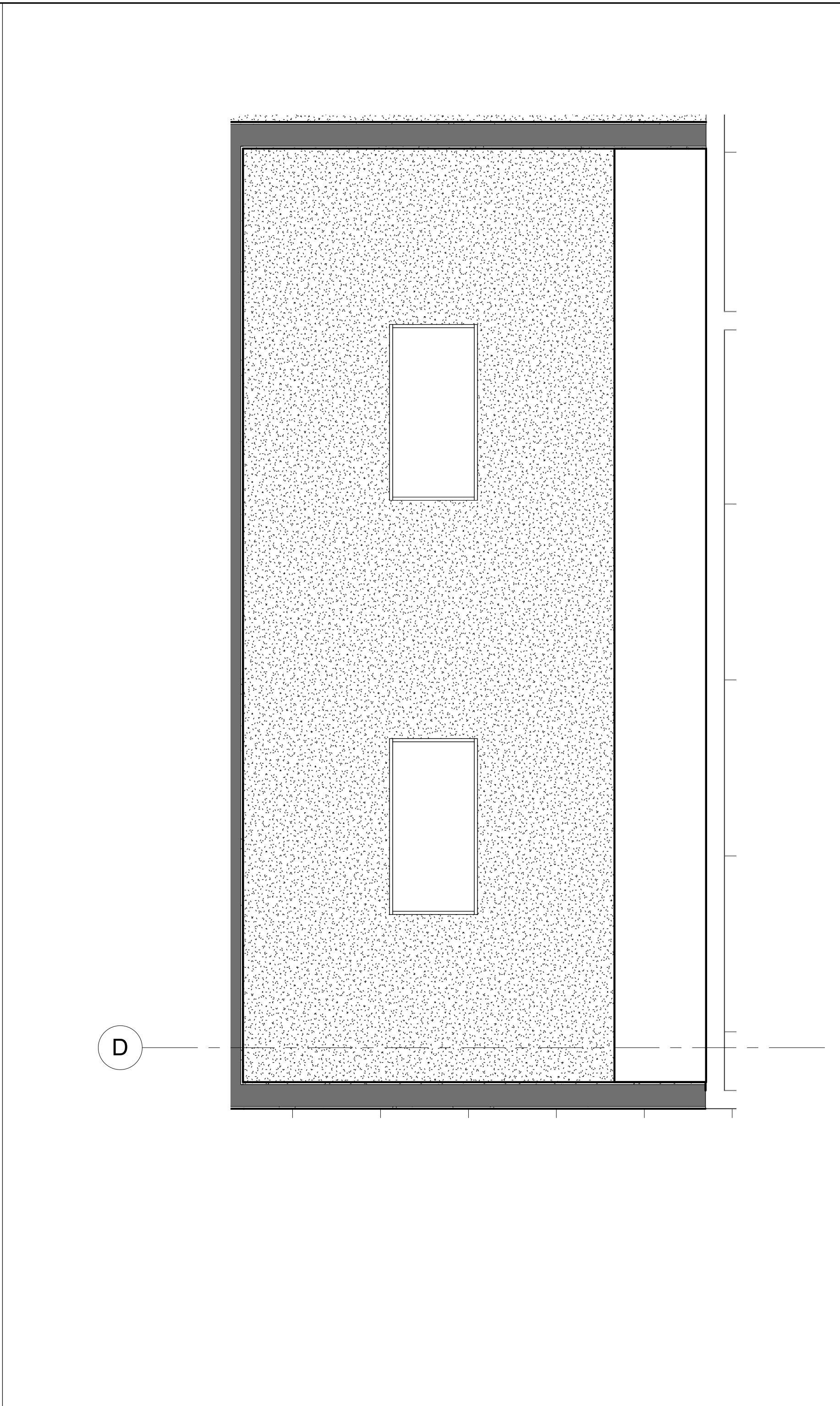
**4 WARMING KITCHEN RM #14**  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES**

- REFER TO FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
- REFER TO DOOR SCHEDULE FOR MORE DETAIL.
- REFER TO REFLECTED CEILING PLAN FOR MORE DETAIL.
- PROVIDE FRAMING, SUPPORTS, BACKING/BLOCKING, ETC. REQUIRED FOR INSTALLATION OF ALL RECESSED/WALL MOUNTED ITEMS AND CONCEALED IN WALL UTILITIES.
- REFER TO A12.20 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER DISCIPLINES.
- LOCATIONS OF MECHANICAL, ELECTRICAL, PLUMBING, AND SECURITY ITEMS SHOWN ON INTERIOR ELEVATIONS ARE FOR ARCHITECTURAL COORDINATION. NOT ALL ITEMS MAY BE SHOWN. REFER TO MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS FOR QUANTITIES.
- CONTINUE ALL FINISHES BEHIND ALL WALL MOUNTED ITEMS, INCLUDING, BUT NOT LIMITED TO, ACCESSORIES, THERMOSTATS, VISUAL DISPLAY UNITS.
- REFER TO SHEET A12.60 FOR CASEWORK DETAILS.
- ALL EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT TO BE PAINTED.
- ALL EXPOSED STEEL TO BE PAINTED.

**LEGEND**

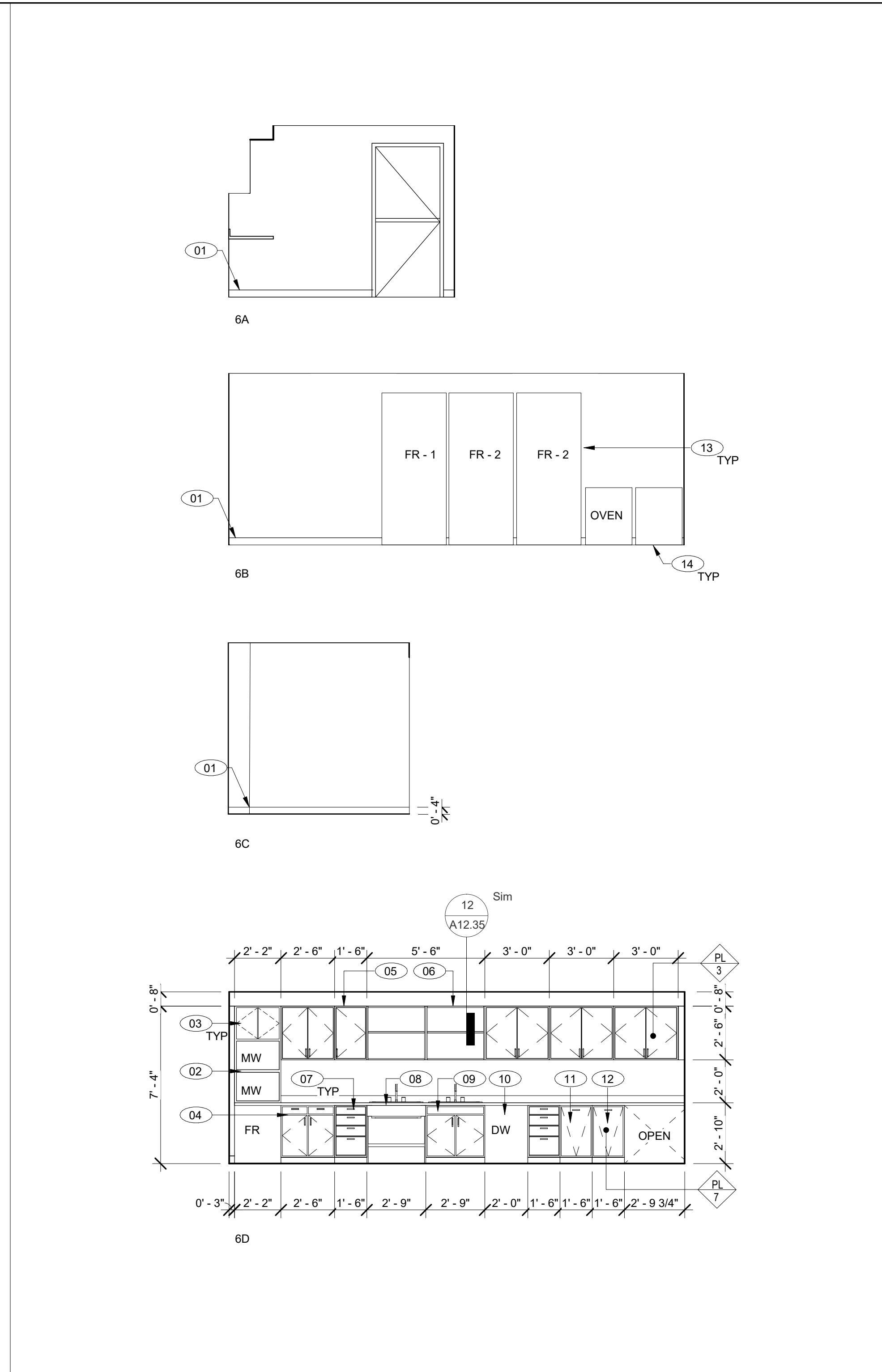
	EXISTING WALL
	NEW CONSTRUCTION WALL
	WALL / WINDOW FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
	MILLWORK FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
	FLOOR FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
	KEYNOTE
	INDICATES GLAZING



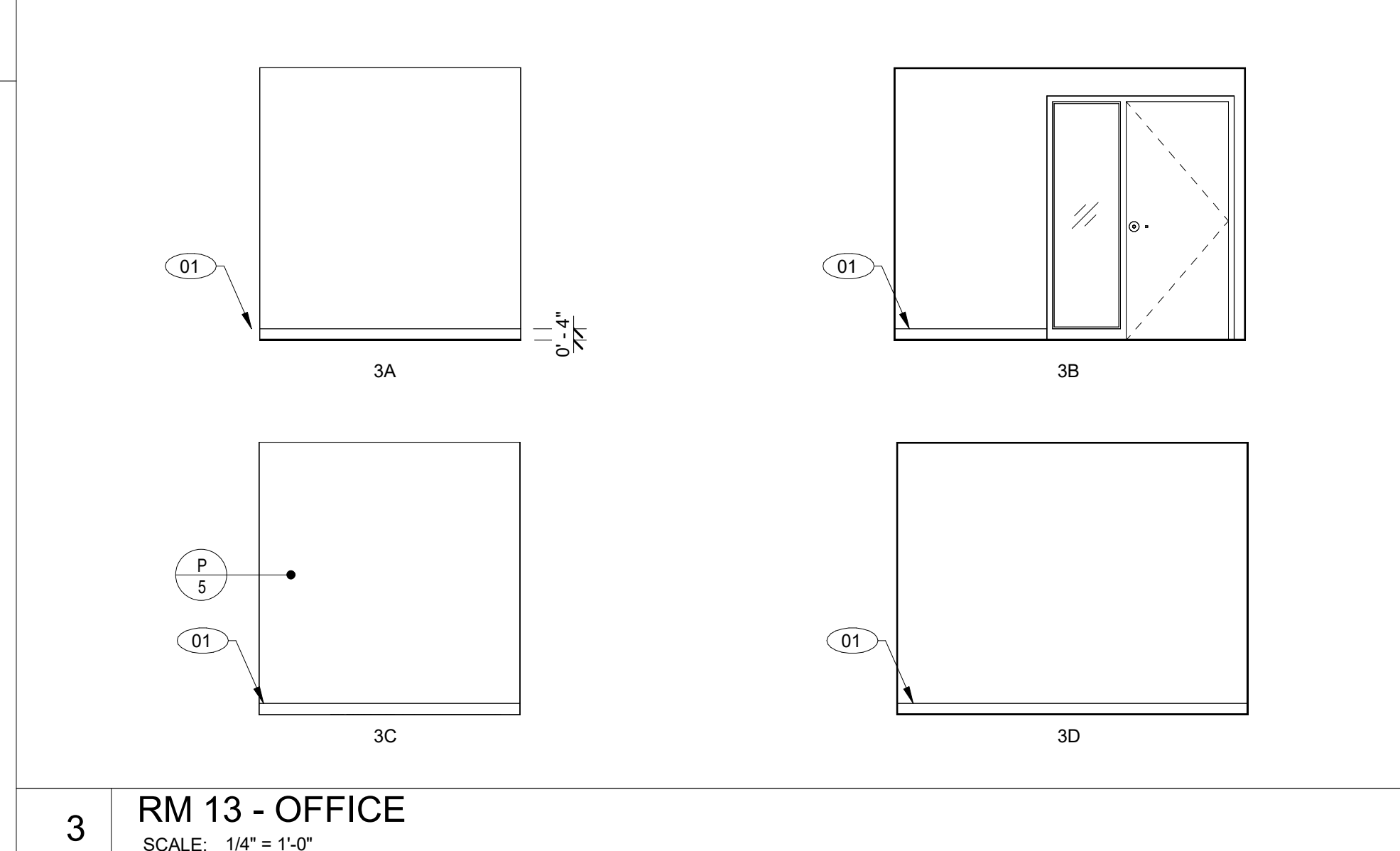
**5 WARMING KITCHEN RM #14 - RCP**  
SCALE: 1/2" = 1'-0"

**KEYNOTE LEGEND**

01	RUBBER BASE, REFER TO FINISH SCHEDULE A9.03
02	CUSTOM CASEWORK CABINET WITH MICROWAVE SHELVES, DOUBLE DOOR UPPER CABINET AND REFRIGERATOR AT BOTTOM, MICROWAVES AND UNDER-COUNTER REFRIGERATOR OFCI
03	WALL HUNG DOUBLE DOOR UPPER CABINET
04	DOUBLE DOOR BASE CABINET WITH DRAWERS
05	WALL HUNG SINGLE DOOR UPPER CABINET
06	ADJUSTABLE OPEN SHELVING
07	CUSTOM 4 - DRAWER BASE CABINET, REFER TO A12.60
08	ACCESSIBLE SINK, REFER TO 13/A12.20 AND 2/A12.60
09	DOUBLE DOOR BASE CABINET WITH SINK
10	DISHWASHER, OFCI
11	TRASH DISPOSAL BIN
12	RECYCLING DISPOSAL BIN
13	REFRIGERATOR, OFCI
14	OVEN, OFCI



**6 RM 14 - WARMING KITCHEN**  
SCALE: 1/4" = 1'-0"

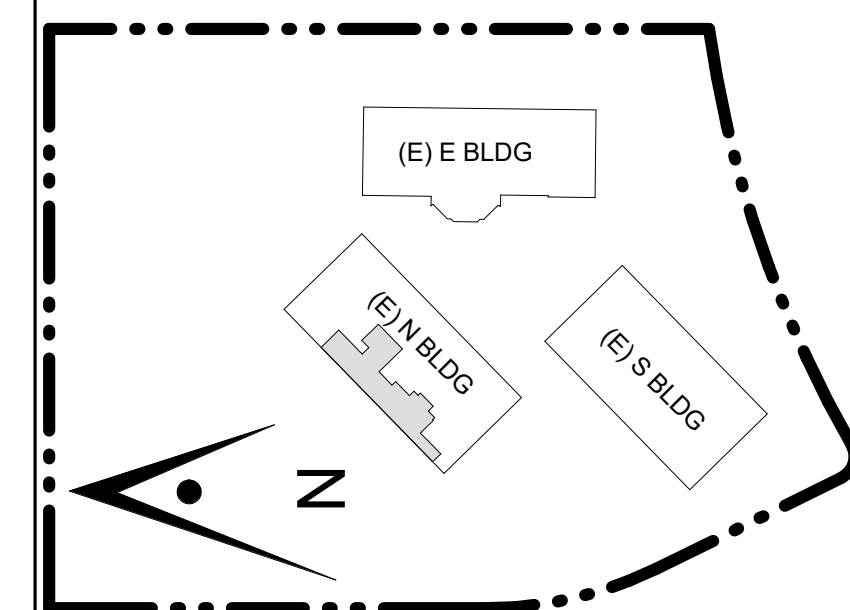


**3 RM 13 - OFFICE**  
SCALE: 1/4" = 1'-0"



CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

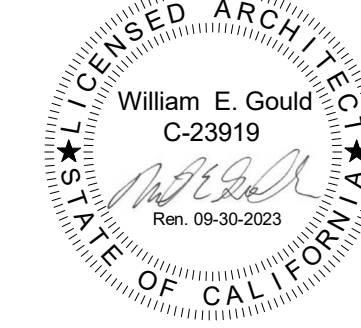
### SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
	ISSUED FOR PERMIT	05/03/22
1	ADDENDUM 1	08/16/23

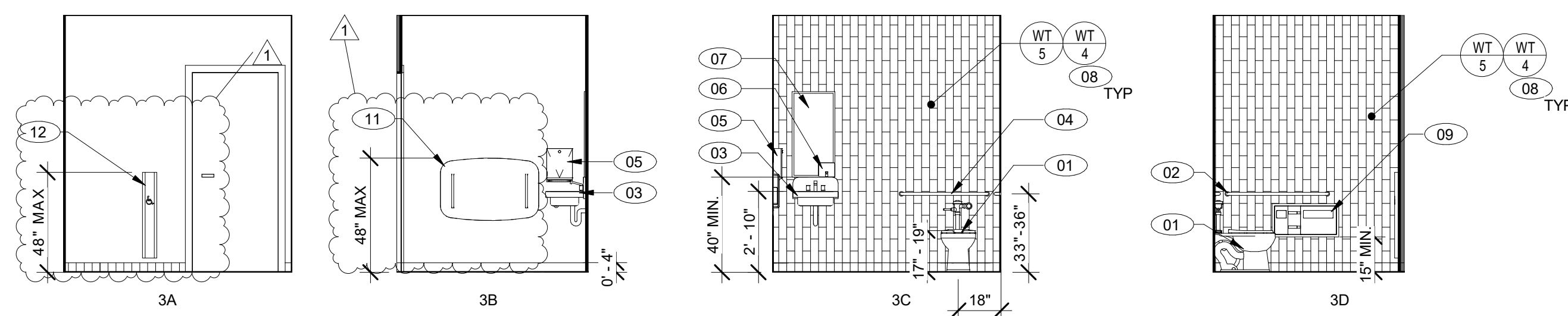
Drawing Title

## ENLARGED PLANS & INTERIOR ELEV - ADULT RESTROOM A & B RM #17 & 18

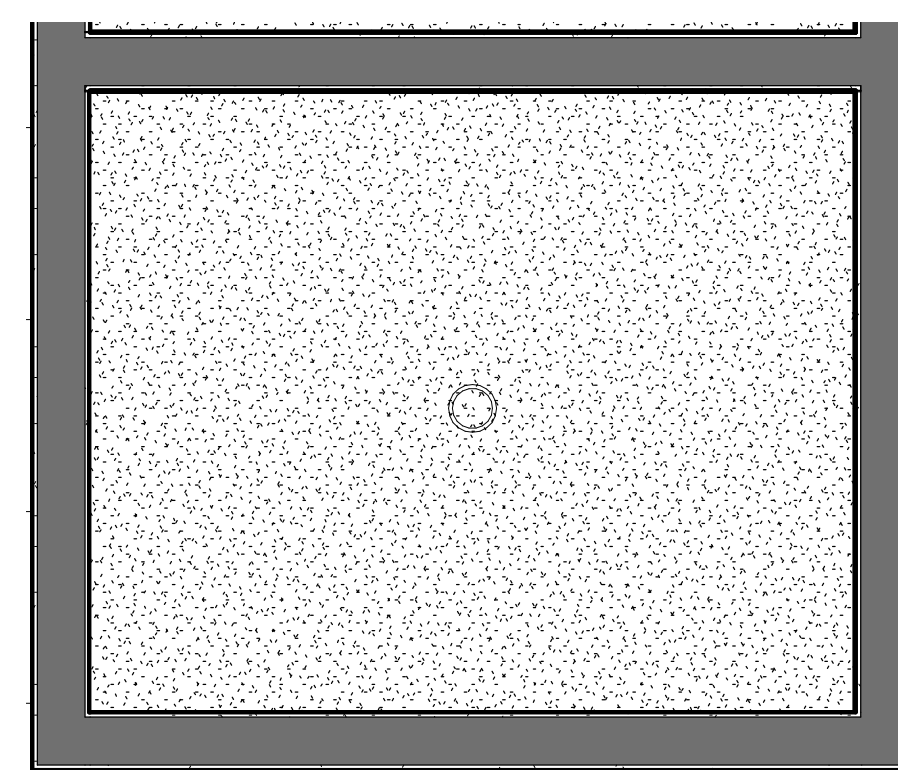
Architect Seal



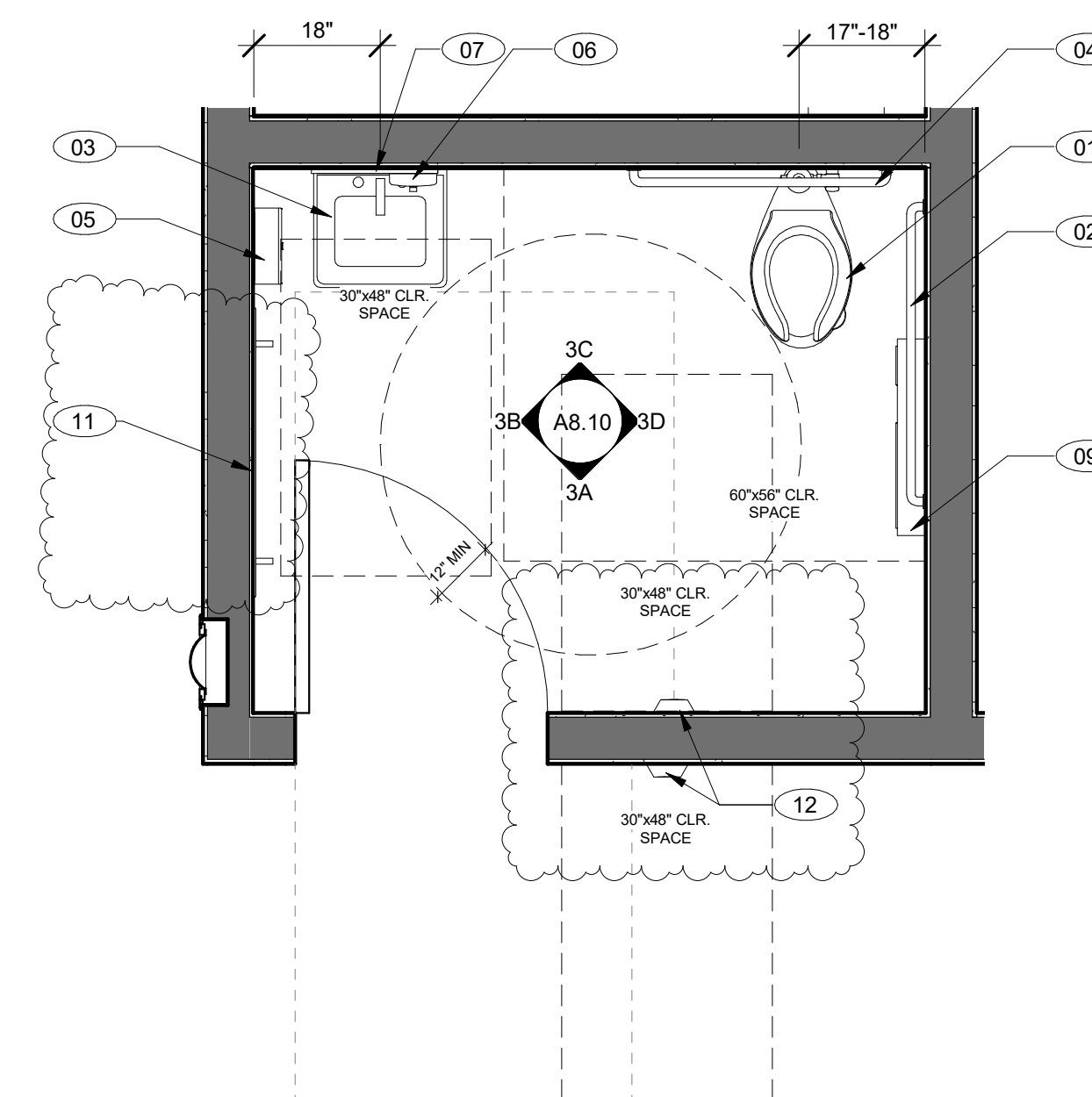
File No.	Drawing No.
Application No.	A8.10
Date	
Project Number	



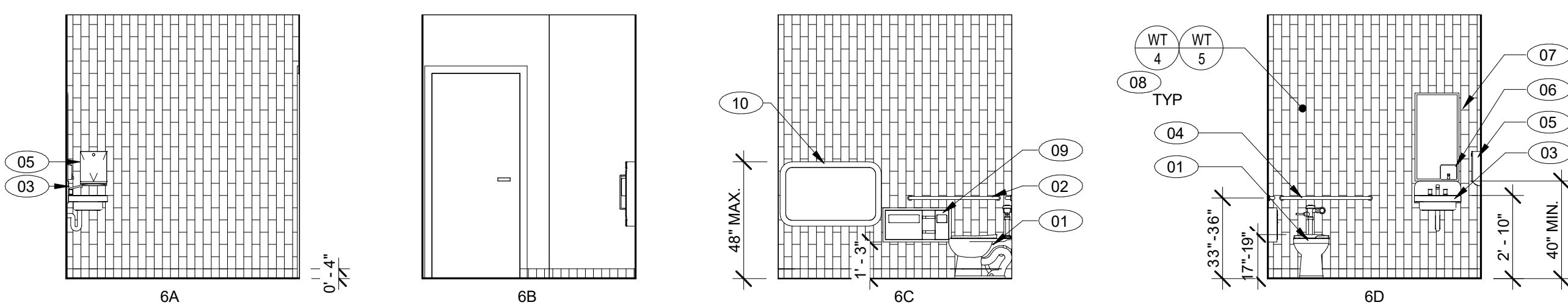
3A RM 17 - ADULT RESTROOM  
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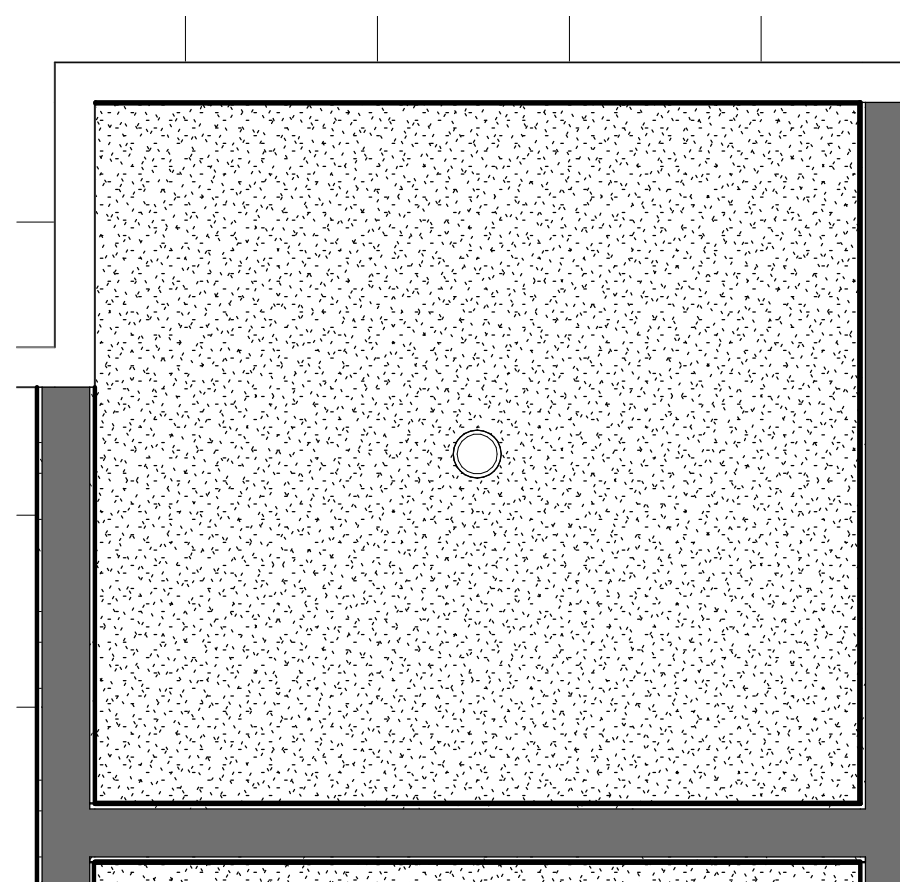
2 ADULT RESTROOM RM #17 - RCP  
 SCALE: 1/2" = 1'-0"



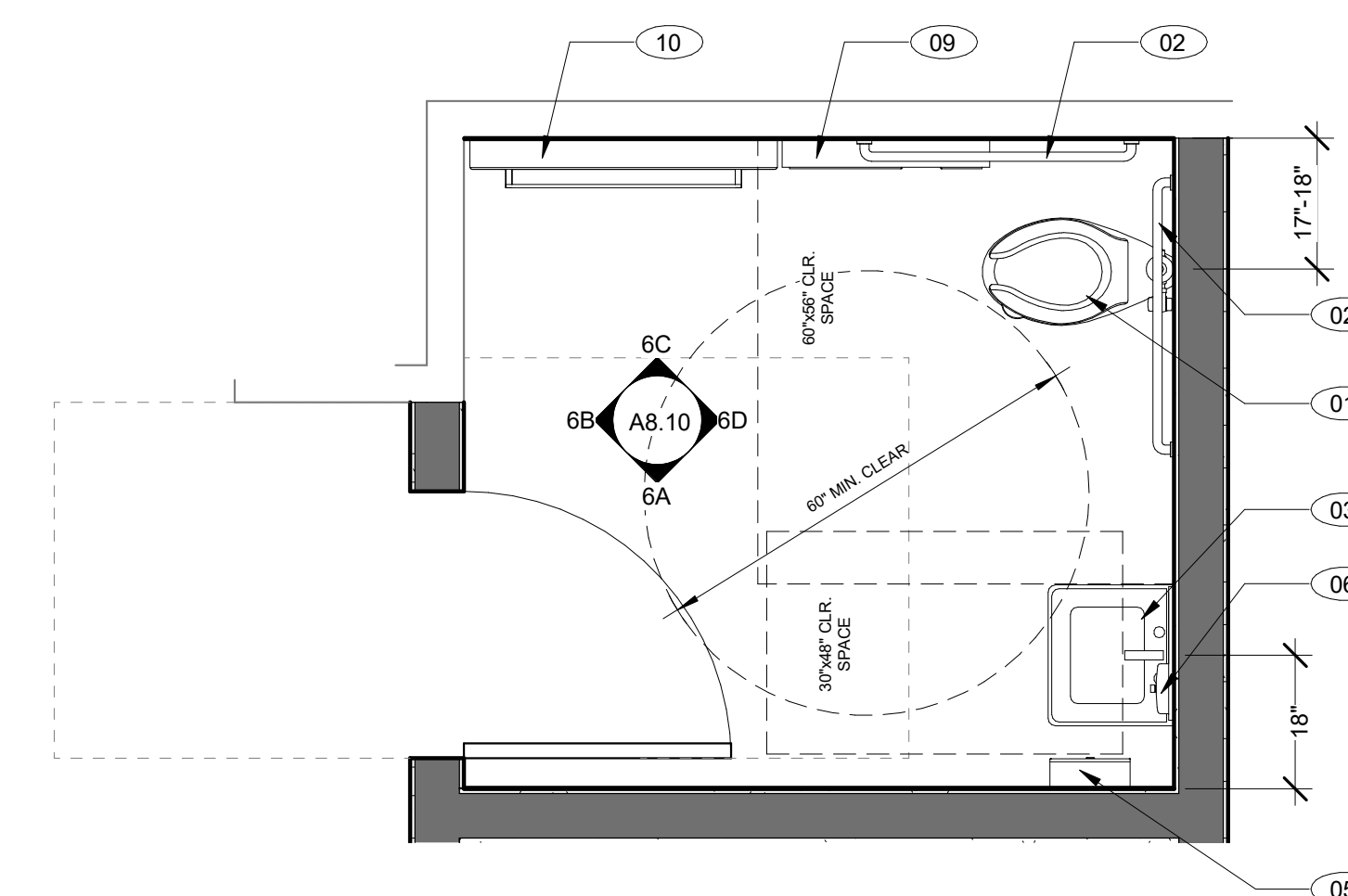
1 ADULT RESTROOM RM #17  
 SCALE: 1/2" = 1'-0"



6A RM 18 - ADULT RESTROOM  
 1/4" = 1'-0"



5 ADULT RESTROOM RM #18 - RCP  
 SCALE: 1/2" = 1'-0"



4 ADULT RESTROOM RM #18  
 SCALE: 1/2" = 1'-0"

### GENERAL NOTES

- REFER TO FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
- REFER TO DOOR SCHEDULE FOR MORE DETAIL.
- REFER TO REFLECTED CEILING PLAN FOR MORE DETAIL.
- PROVIDE FRAMING, SUPPORTS, BACKING/BLOCKING, ETC. REQUIRED FOR INSTALLATION OF ALL RECESSED/WALL MOUNTED ITEMS AND CONCEALED IN WALL UTILITIES.
- REFER TO A12.20 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES AND MISCELLANEOUS EQUIPMENT.
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- CONTINUE ALL FINISHES BEHIND ALL WALL MOUNTED ITEMS, INCLUDING, BUT NOT LIMITED TO, ACCESSORIES, THERMOSTATS, VISUAL DISPLAY UNITS.
- REFER TO SHEET A12.60 FOR CASEWORK DETAILS.
- ALL EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT TO BE PAINTED.
- ALL EXPOSED STEEL TO BE PAINTED.

### KEYNOTE LEGEND

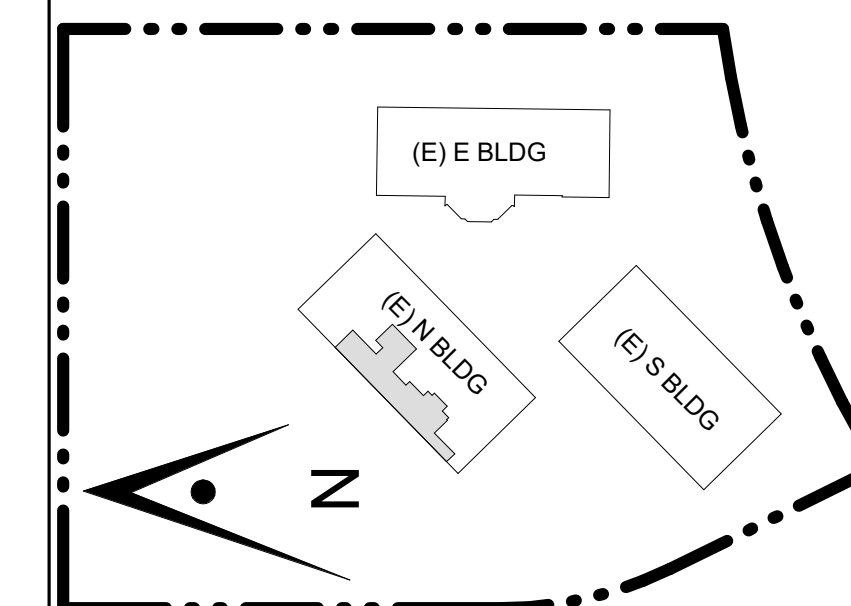
- 01 ACCESSIBLE TOILET, REFER TO 20/A12.20
- 02 42" GRAB BAR, REFER TO 20/A12.20
- 03 ACCESSIBLE SINK, REFER TO 20/A12.20
- 04 36" GRAB BAR, REFER TO 20/A12.20
- 05 PAPER TOWEL DISPENSER, REFER TO 20/A12.20
- 06 SOAP DISPENSER, REFER TO 20/A12.20
- 07 18" X 36" BOBRICK MIRROR B-166, REFER TO 20/A12.20
- 08 4" X 8" WALL TILE, VERTICAL GRID, FULL HEIGHT. RANDOMIZED 70% WT-4, 30% WT-5
- 09 BOBRICK B-30919 TOILET SEAT COVER, TOILET PAPER, AND WASTE COMBO
- 10 KOALA-KARE KB310-SSWM BABY CHANGING STATION
- 11 KOALA-KARE KB310-SSRE BABY CHANGING STATION
- 12 ADA DOOR ACTUATOR

### LEGEND

- EXISTING WALL
- NEW CONSTRUCTION WALL
- WALL / WINDOW FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- MILLWORK FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- FLOOR FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- KEYNOTE
- INDICATES GLAZING

CONSULTANT'S STAMP

Key Plan



Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

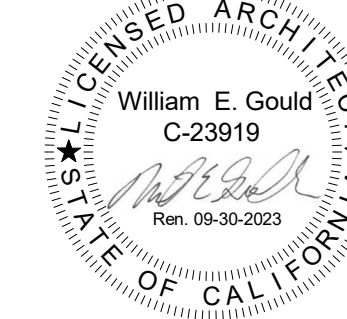
### SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
	ISSUED FOR PERMIT	05/03/22
1	ADDENDUM 1	08/16/23

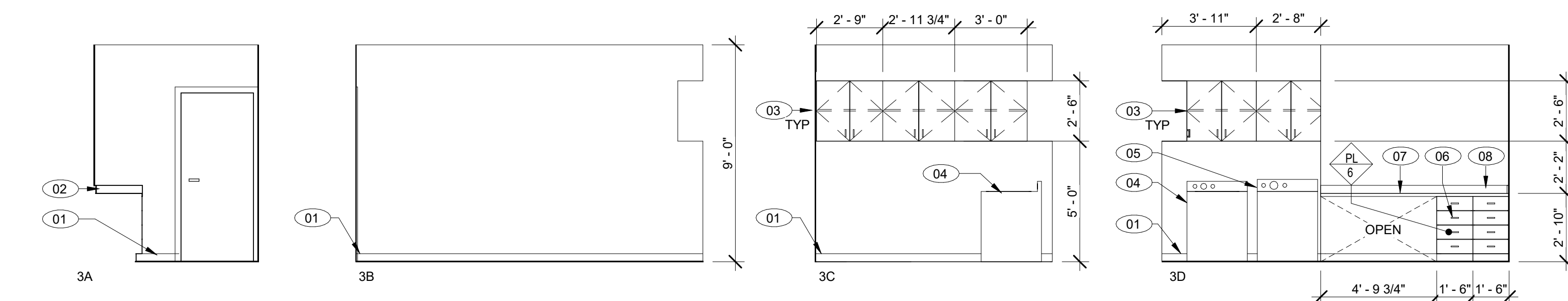
Drawing Title

## ENLARGED PLANS & INTERIOR ELEV - LAUNDRY & PRIVACY ROOM RM #19 & 20

Architect Seal



File No.	Drawing No.
	A8.11
Application No.	
Date	4/22/22
Project Number	06401



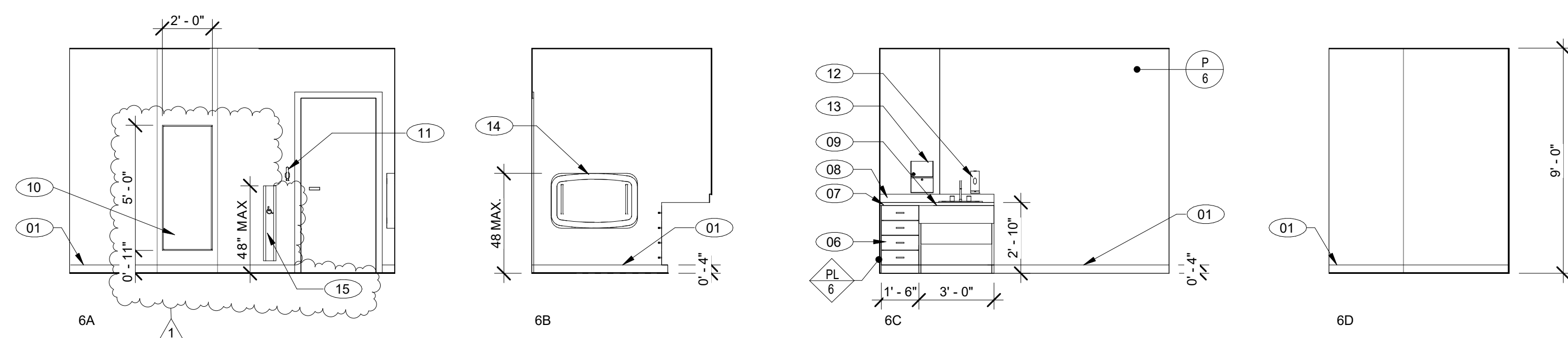
3 RM 19 - LAUNDRY ROOM  
1/4" = 1'-0"

D

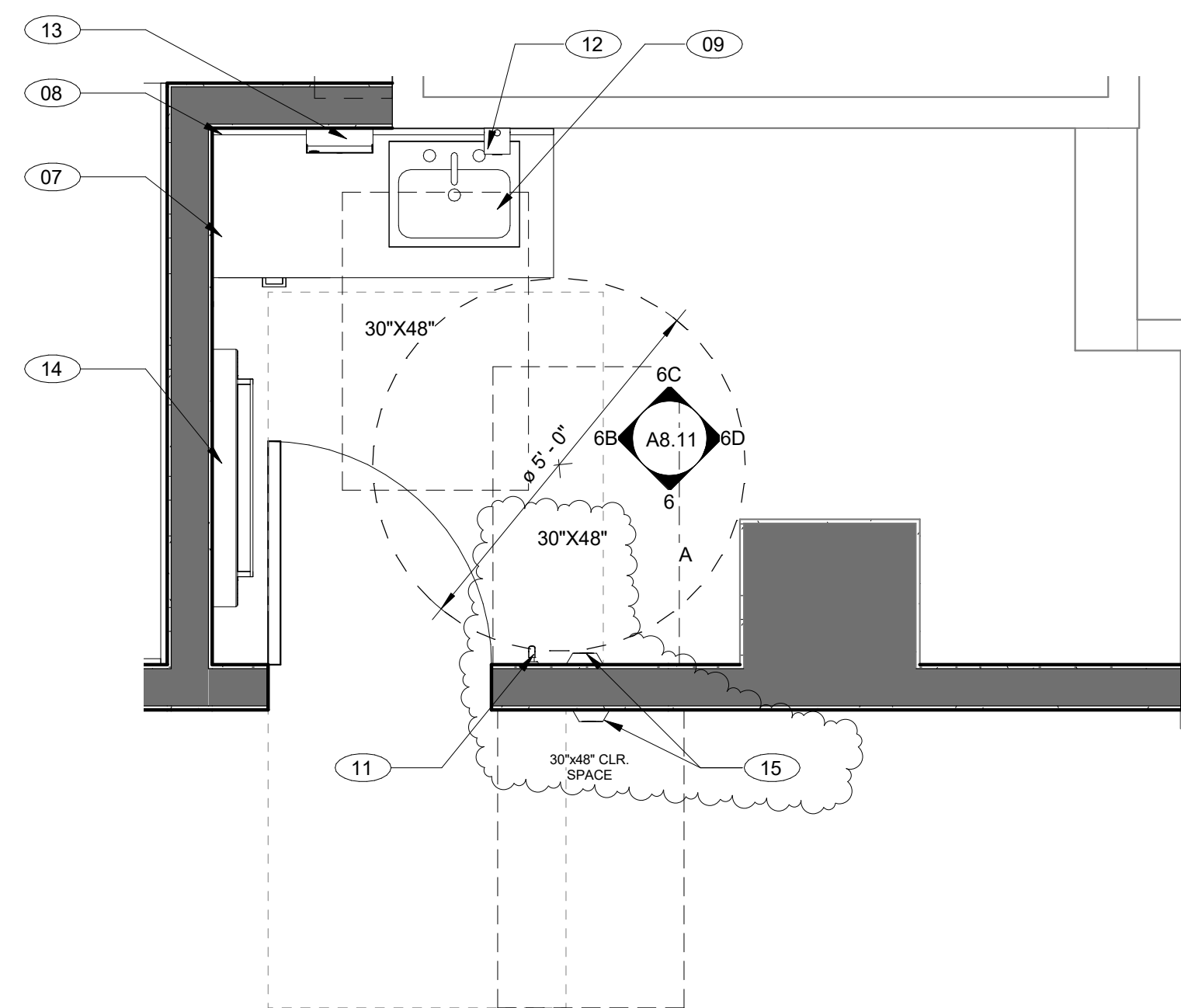
2 LAUNDRY ROOM #19 - RCP  
SCALE: 1/4" = 1'-0"

D

1 LAUNDRY ROOM #19  
SCALE: 1/4" = 1'-0"



6 RM 20 - PRIVACY ROOM  
1/4" = 1'-0"



4 PRIVACY ROOM #20  
SCALE: 1/2" = 1'-0"

GENERAL NOTES

KEYNOTE LEGEND

LEGEND

- REFER TO FINISH FLOOR PLANS FOR ADDITIONAL INFORMATION.
- REFER TO DOOR SCHEDULE FOR MORE DETAIL.
- REFER TO REFLECTED CEILING PLAN FOR MORE DETAIL.
- PROVIDE FRAMING, SUPPORTS, BACKING/BLOCKING, ETC. REQUIRED FOR INSTALLATION OF ALL RECESSED/WALL MOUNTED ITEMS AND CONCEALED IN WALL UTILITIES.
- REFER TO A12.20 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER DISCIPLINES.
- LOCATIONS OF MECHANICAL, ELECTRICAL, PLUMBING, AND SECURITY ITEMS SHOWN ON INTERIOR ELEVATIONS ARE FOR ARCHITECTURAL COORDINATION. NOT ALL ITEMS MAY BE SHOWN. REFER TO MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS FOR QUANTITIES.
- CONTINUE ALL FINISHES BEHIND ALL WALL MOUNTED ITEMS, INCLUDING, BUT NOT LIMITED TO, ACCESSORIES, THERMOSTATS, VISUAL DISPLAY UNITS.
- REFER TO SHEET A12.60 FOR CASEWORK DETAILS.
- ALL EXPOSED MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT TO BE PAINTED.
- ALL EXPOSED STEEL TO BE PAINTED.

- 01 RUBBER BASE, REFER TO FINISH SCHEDULE
- 02 4" BACKSPLASH
- 03 WALL HUNG DOUBLE DOOR UPPER CABINET
- 04 WASHER, OFCI
- 05 DRYER, OFCI
- 06 CUSTOM 4 - DRAWER BASE CABINET, REFER TO A12.60
- 07 SOLID SURFACE COUNTERTOP
- 08 4" BACKSPLASH
- 09 ACCESSIBLE SINK, REFER TO 13/A12.20 AND 2/A12.60
- 10 24"x60" MIRROR
- 11 COAT HOOK
- 12 SOAP DISPENSER, REFER TO 20/A12.20
- 13 PAPER TOWEL DISPENSER, REFER TO 20/A12.20
- 14 KOALA-KARE KB310-SS BABY CHANGING STATION
- 15 ADA DOOR ACTUATOR

- [Line] EXISTING WALL
- [Line] NEW CONSTRUCTION WALL
- [A/#] WALL / WINDOW FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- [A/#] MILLWORK FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- [A/#] FLOOR FINISH, REFER TO A9.03 FOR FINISH SCHEDULE
- [O] KEYNOTE
- [//] INDICATES GLAZING

5 PRIVACY ROOM #20 - RCP  
SCALE: 1/4" = 1'-0"

7

GENERAL NOTES

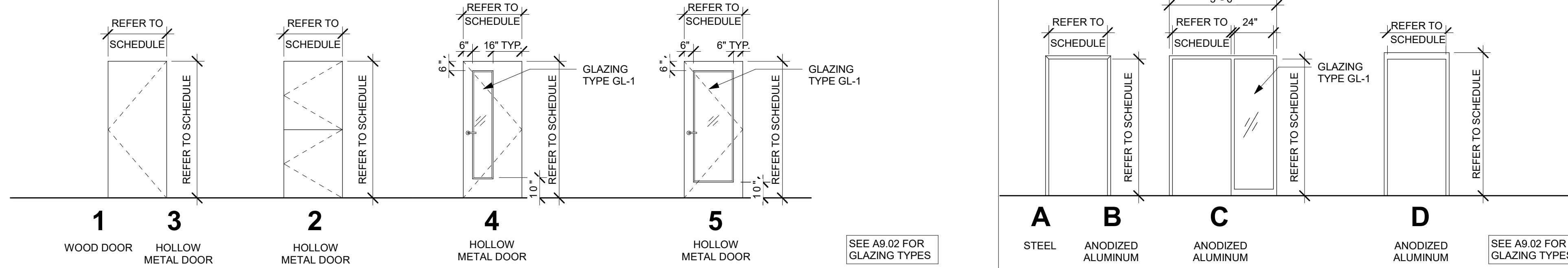
- A. MAXIMUM EFFORT TO OPERATE ALL DOORS SHALL NOT EXCEED 5 LB.
- B. DOOR OPERATING HARDWARE SHALL BE CENTERED 30"-44" ABOVE FINISH FLOOR. OPERATING HARDWARE SHALL BE EASY TO GRASP WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. DOORS IN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT, USING LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE.
- C. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD PRIOR TO CREATING SHOP DRAWINGS
- D. DOORS AND GATES WITH CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- E. DOORS WITH PANIC HARDWARE SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.

HARDWARE GROUP	DESCRIPTION
1	SINGLE FRAMED GLASS DOOR W/ CARD READER, ADA PUSH-BUTTON ACTUATOR, REMOTE OVERRIDE BUTTON, AND PANIC HARDWARE
2	SINGLE FRAMED GLASS DOOR W/ LOCKSET
2A	SINGLE FRAMED GLASS DOOR W/ CLASSROOM LOCKSET
2B	SINGLE FRAMED GLASS DOOR W/ CLASSROOM LOCKSET
3	SINGLE WOOD DOOR W/ INDICATOR LOCKSET
4	SINGLE WOOD DOOR W/ ADA ACTUATOR, INDICATOR LOCKSET
5	SINGLE WOOD DOOR W/ CLASSROOM LOCKSET
5A	SINGLE WOOD DOOR W/ STORAGE LOCKSET
5B	SINGLE WOOD DOOR W/ CLASSROOM LOCKSET
6	SINGLE WOOD DUTCH DOOR W/ PASSAGE SET
6A	SINGLE WOOD DUTCH DOOR W/ CLASSROOM LOCKSET ON BOTH LEAVES
8	(E) SINGLE WOOD DOOR, MODIFY W/ CARD READER BOTH SIDES
9	SINGLE FRAMED GLASS STOREFRONT DOOR W/ CARD READER, ADA PUSH-BUTTON ACTUATOR, REMOTE OVERRIDE BUTTON, AND PANIC HARDWARE
10	SINGLE FRAMED GLASS STOREFRONT DOOR W/ LOCKSET
11	(E) SINGLE FRAMED GLASS STOREFRONT DOOR, MODIFY W/ CARD READER, PANIC HARDWARE

DOOR NO.	ROOM NAME	DOOR		DOOR		FRAME		FIRE RATING	HARDWARE GROUP	PANIC HARDWARE	CARD READER	ADA DOOR ACTUATOR	SILL DETAIL	JAMB DETAIL	HEADER DETAIL	
		WIDTH	HEIGHT	DOOR TYPE	MATERIAL	DOOR FINISH	FRAME TYPE									FRAME MATERIAL
1	CIRCULATION	3'-0"	7'-0"	4	HM	P-4	D	AA	NR	1	Yes	Yes	Yes	1/A12.50	2/A12.50	3/A12.50
2	OFFICE	3'-0"	7'-0"	5	HM	P-8	D	AA	NR	2				1/A12.50	2/A12.50	3/A12.50
3	CLASSROOM TODDLER	3'-0"	7'-0"	4	HM	P-8	D	AA	NR	2A				1/A12.50	2/A12.50	3/A12.50
4	CHILDREN RR A	3'-0"	7'-0"	2	HM	P-8	B	ST	NR	6				1/A12.50	2/A12.50	3/A12.50
5	CHILDREN RR A	3'-0"	7'-0"	2	HM	P-4	B	ST	NR	6				1/A12.50	2/A12.50	3/A12.50
6	CLASSROOM TRANSITIONAL	3'-0"	7'-0"	4	HM	P-4	D	AA	NR	2A				1/A12.50	2/A12.50	3/A12.50
7	CHILDREN RR B	3'-0"	7'-0"	2	HM	P-4	B	ST	NR	6				1/A12.50	2/A12.50	3/A12.50
8	CHILDREN RR B	3'-0"	7'-0"	2	HM	P-6	B	ST	NR	6				1/A12.50	2/A12.50	3/A12.50
9	CLASSROOM INFANT	3'-0"	7'-0"	4	HM	P-6	D	AA	NR	2B				1/A12.50	2/A12.50	3/A12.50
10	CRIB ROOM	3'-0"	7'-0"	3	HM	P-6	B	ST	NR	5				1/A12.50	2/A12.50	3/A12.50
11	STORAGE	3'-0"	7'-0"	1	WOOD	TME	A	AA	NR	5A				1/A12.50	2/A12.50	3/A12.50
12	STAFF LOUNGE	3'-0"	7'-0"	1	WOOD	TME	A	AA	NR	5B				1/A12.50	2/A12.50	3/A12.50
13	OFFICE	3'-0"	7'-0"	1	WOOD	TME	C	AA	NR	2				1/A12.50	2/A12.50	3/A12.50
14	OFFICE	3'-0"	7'-0"	1	WOOD	TME	C	AA	NR	2				1/A12.50	2/A12.50	3/A12.50
15	WARMING KITCHEN	3'-0"	7'-0"	2	HM	TME	B	AA	NR	6A				1/A12.50	2/A12.50	3/A12.50
16	ISOLATION ROOM	3'-0"	7'-0"	2	HM	P-6	B	ST	NR	6A				1/A12.50	2/A12.50	3/A12.50
17	CIRCULATION	3'-0"	7'-0"	1	WOOD	TME	A	AA	NR	4		Yes		1/A12.50	2/A12.50	3/A12.50
18	ADULT RR	3'-0"	7'-0"	1	WOOD	TME	A	AA	NR	3				1/A12.50	2/A12.50	3/A12.50
19	LAUNDRY	3'-0"	7'-0"	1	WOOD	TME	A	AA	NR	5A				1/A12.50	2/A12.50	3/A12.50
20	LACTATION ROOM	3'-0"	7'-0"	1	WOOD	TME	A	AA	NR	4		Yes	Yes	1/A12.50	2/A12.50	3/A12.50
21	LOBBY	3'-0"	7'-7"	S1					NR	9	Yes	Yes	Yes	1/A12.51	6/A12.51	11/A12.51
22	CLASSROOM TODDLER	3'-0"	7'-7"	S1					NR	10				1/A12.51	6/A12.51	11/A12.51
23	CLASSROOM TRANSITIONAL	3'-0"	7'-7"	S1					NR	10				1/A12.51	6/A12.51	11/A12.51
24	CLASSROOM INFANT	3'-0"	7'-7"	S1					NR	10				1/A12.51	6/A12.51	11/A12.51
25	CIRCULATION	3'-0"	7'-7"	(E)	(E)	(E)	(E)	(E)	NR	11	Yes	Yes		-	-	-
26	CIRCULATION	3'-0"	7'-0"	(E)	(E)	(E)	(E)	(E)	NR	8		Yes		-	-	-
27	(E) HALLWAY	3'-0"	7'-0"	(E)	(E)	(E)	(E)	(E)	NR	8		Yes		-	-	-
28	JANITORIAL	4'-0"	7'-0"	1	WOOD	TME	A	AA	NR	5A				1/A12.50	2/A12.50	3/A12.50

**LEGEND**  
 HM: HOLLOW METAL DOOR  
 ST: STEEL  
 AA: ANODIZED ALUMINUM  
 TME: TO MATCH EXISTING

1 DOOR SCHEDULE



HARDWARE GROUPS 1/8" = 1'-0"

2 DOOR TYPE 1/4" = 1'-0"

3 DOOR FRAME TYPE 1/4" = 1'-0"

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 ART & ARCHITECTURE  
 394-A Umbarger Rd  
 San Jose, CA 95111  
 Phone 408.224.9890  
 Fax 408.224.9891  
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CONSULTANT'S STAMP

Key Plan

Project Title

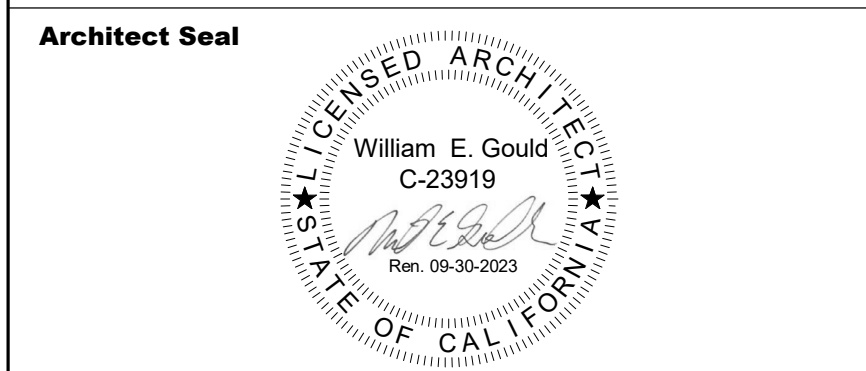
SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

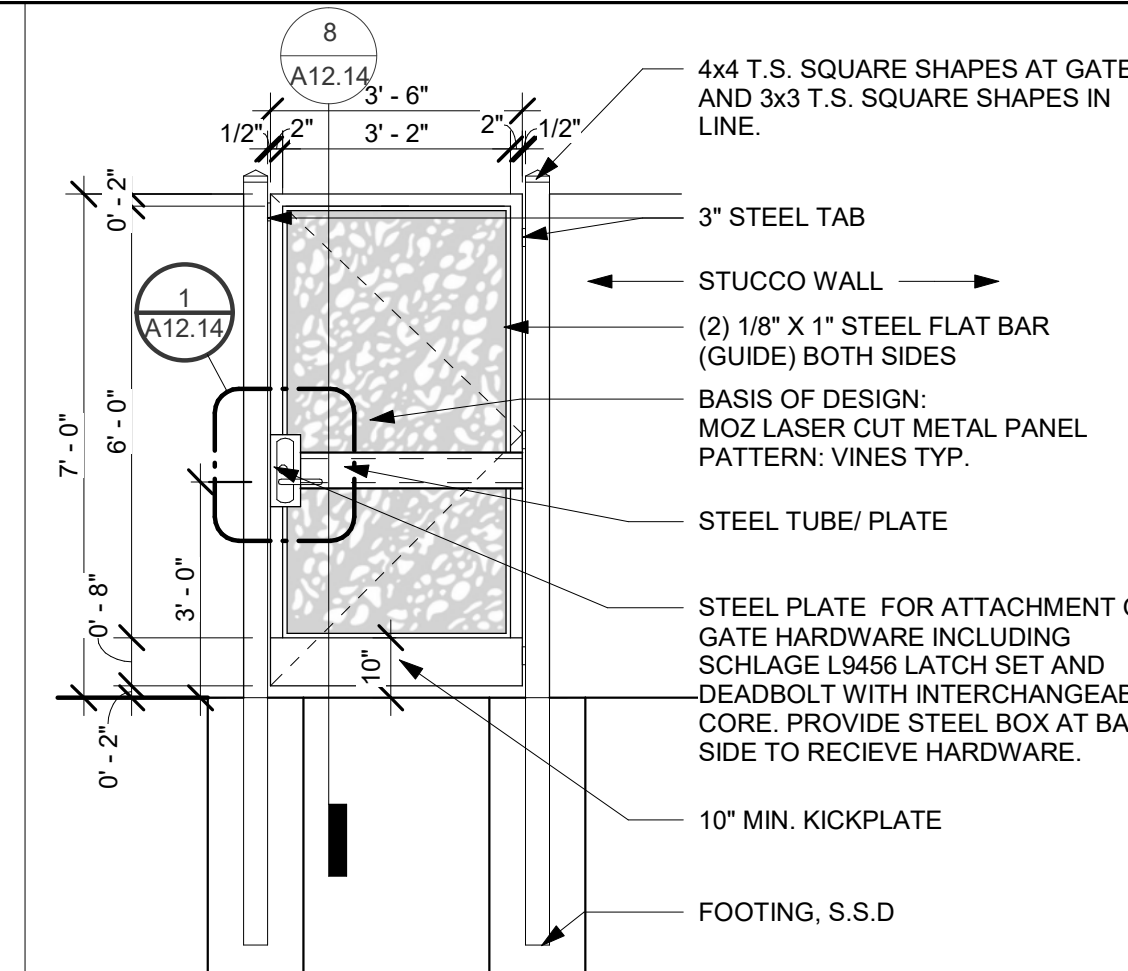
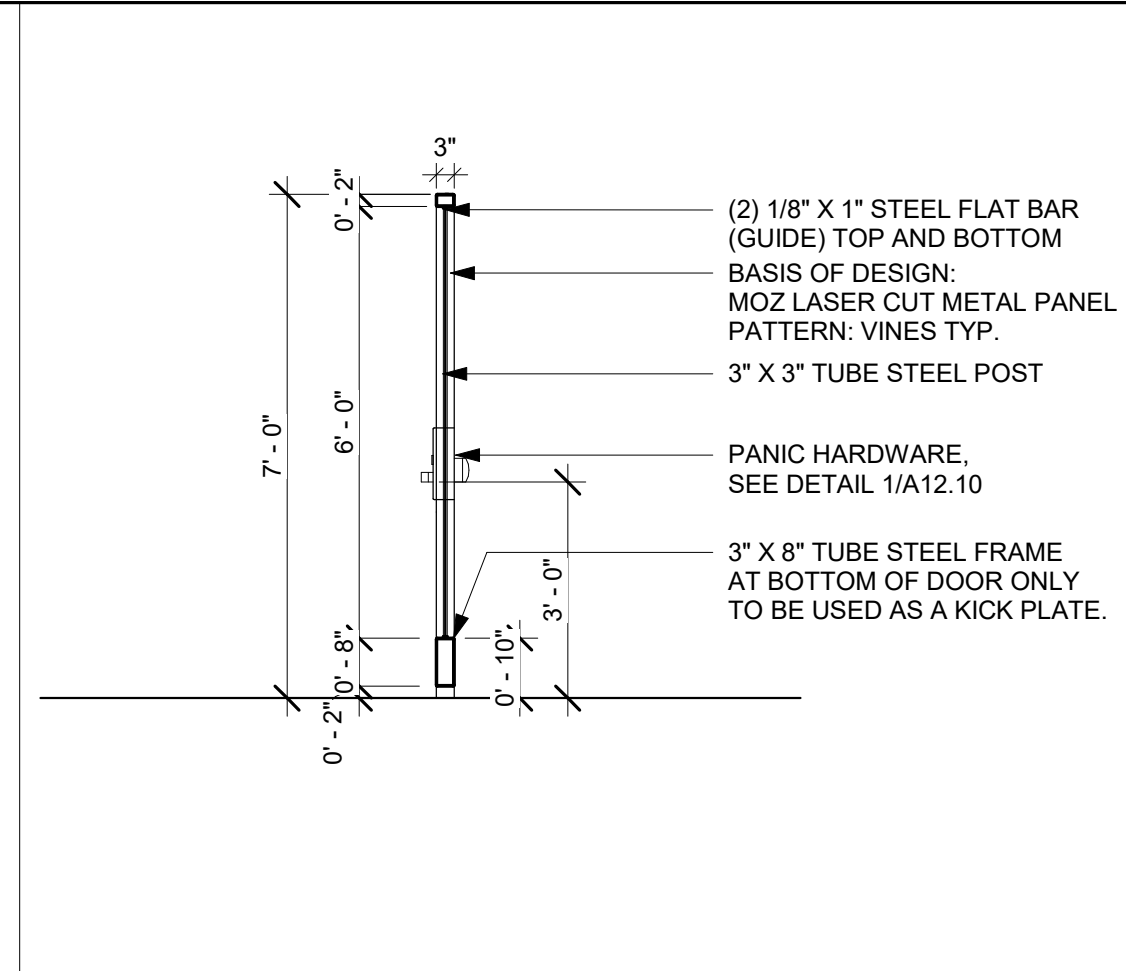
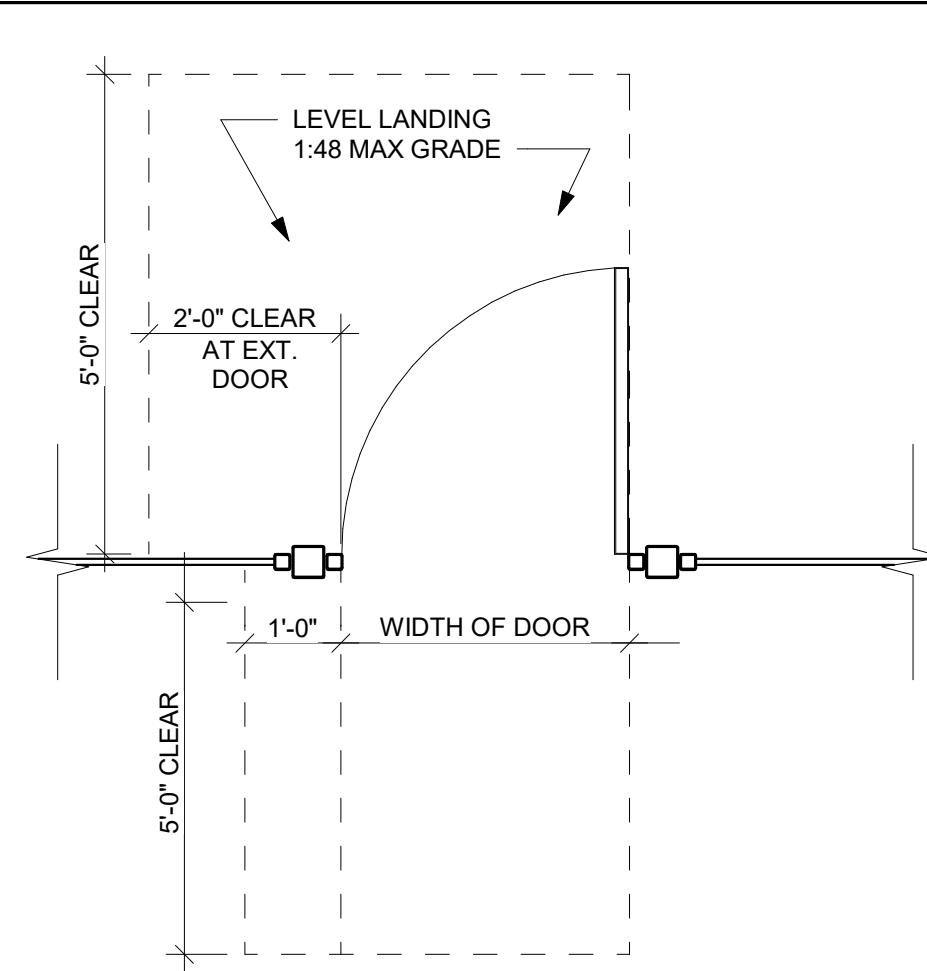
SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
	ISSUED FOR PERMIT	05/03/22
	1ST BUILDING RESUBMITTAL	10/26/22
1	ADDENDUM 1	08/16/23

Drawing Title  
 DOOR SCHEDULE



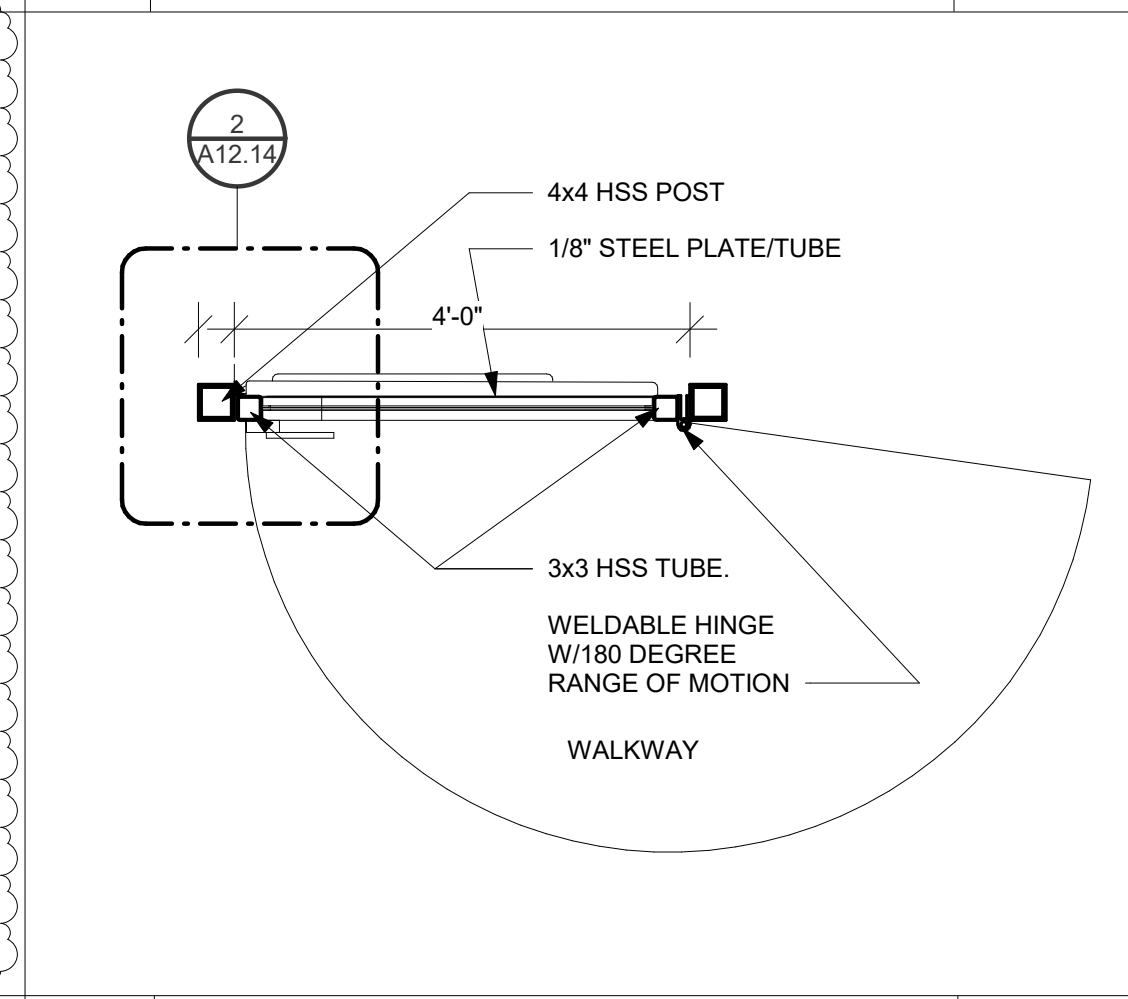
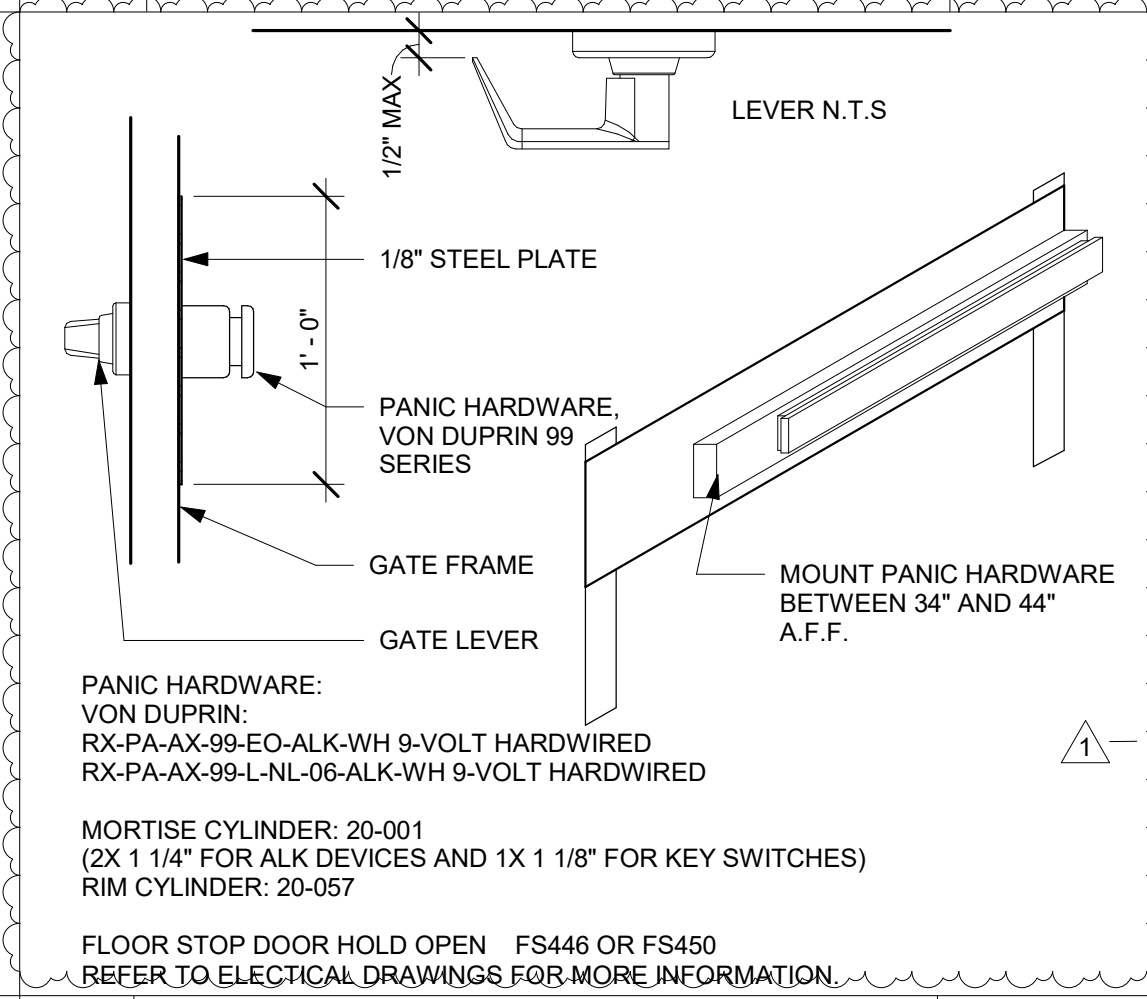
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Application No.	A9.01
Date	
Project Number	



12 GATE - ACCESSIBLE GATE CLEARANCE 1/2" = 1'-0"

8 GATE SECTION 3/8" = 1'-0"

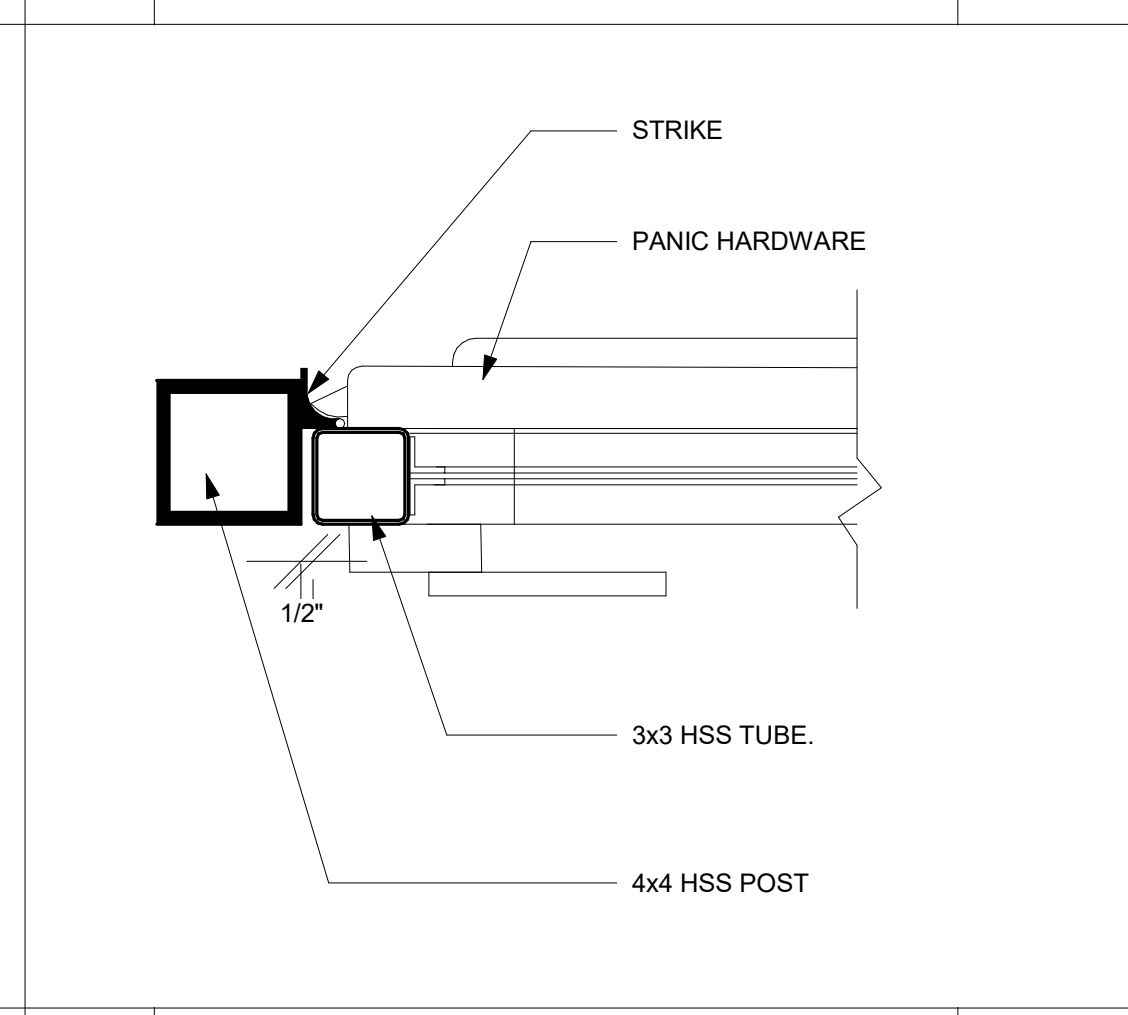
4 GATE ELEVATION 3/8" = 1'-0"



7 PANIC HARDWARE 1 1/2" = 1'-0"

3 GATE FLOOR PLAN 3/4" = 1'-0"

3 GATE FLOOR PLAN 3/4" = 1'-0"

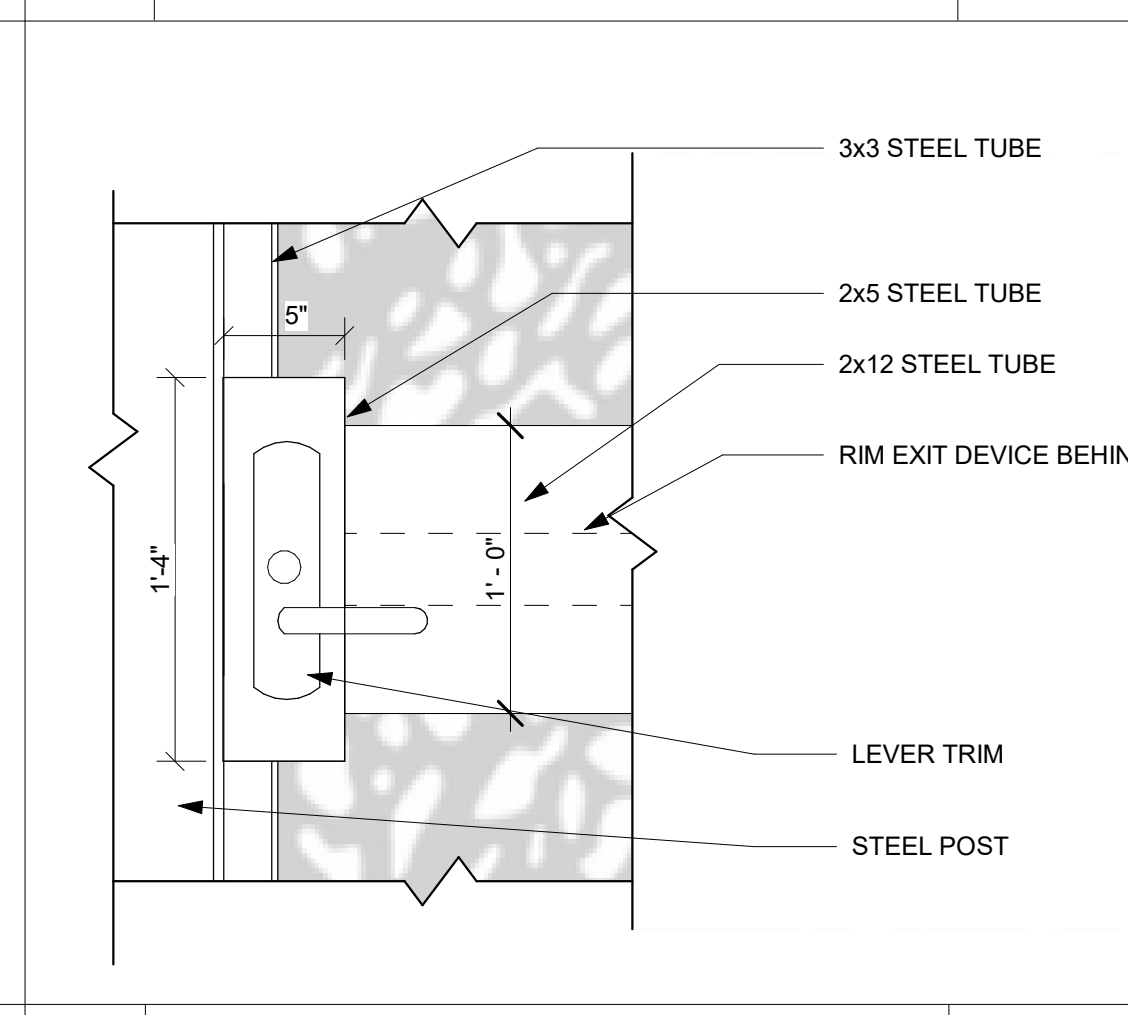


12 GATE - ACCESSIBLE GATE CLEARANCE 1/2" = 1'-0"

8 GATE SECTION 3/8" = 1'-0"

4 GATE ELEVATION 3/8" = 1'-0"

2 GATE GATE EXIT DEVICE 1 1/2" = 1'-0"



12 GATE - ACCESSIBLE GATE CLEARANCE 1/2" = 1'-0"

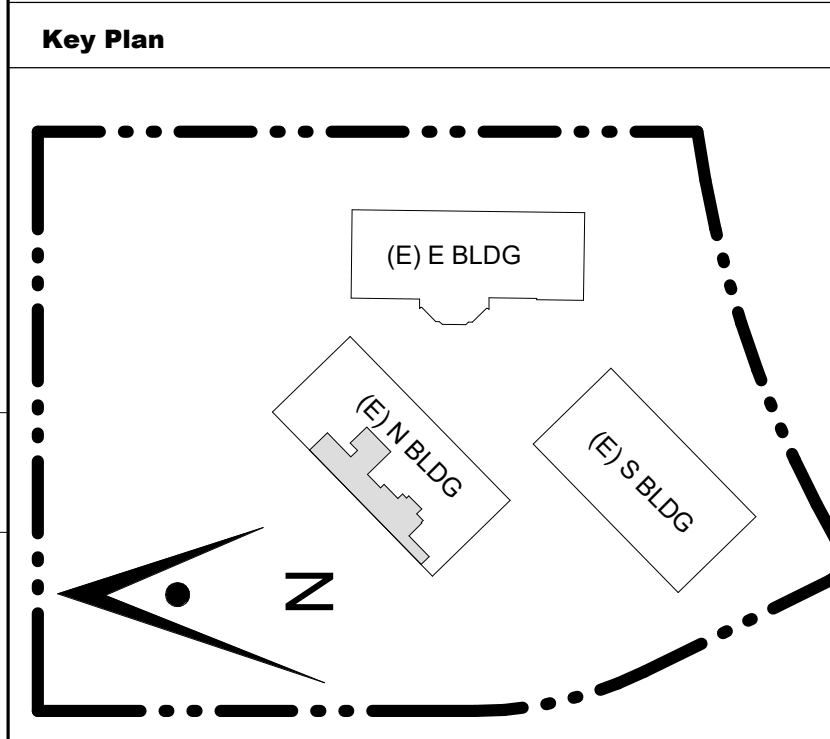
8 GATE SECTION 3/8" = 1'-0"

4 GATE ELEVATION 3/8" = 1'-0"

1 GATE MOUNTING STEEL TUBES FOR EXIT DEVICE 1 1/2" = 1'-0"

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394-A Umbarger Rd  
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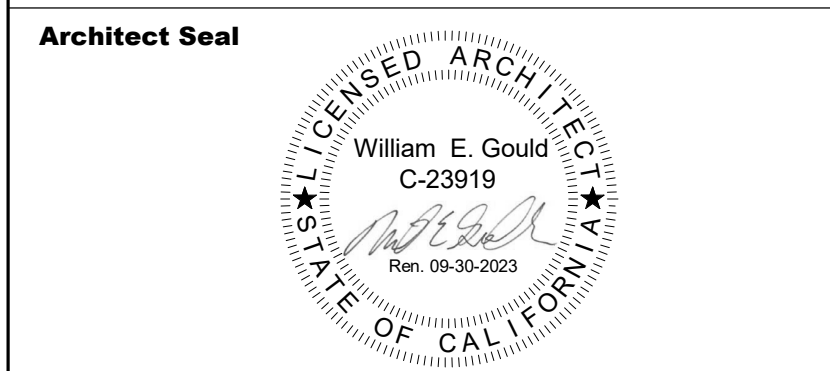
CONSULTANT'S STAMP



Project Title  
**SCCOE EARLY LEARNING CENTER**  
1290 Ridder Park Dr, San Jose  
**SANTA CLARA COUNTY OFFICE OF EDUCATION**

No.	Description	Date
	ISSUED FOR PERMIT	05/03/22
1	ADDENDUM 1	08/16/23

Drawing Title  
**SITE DETAILS - GATE**



File No.	Drawing No.
Application No.	<b>A12.14</b>
Date	
Project Number	

CONSULTANT'S STAMP

Key Plan

Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

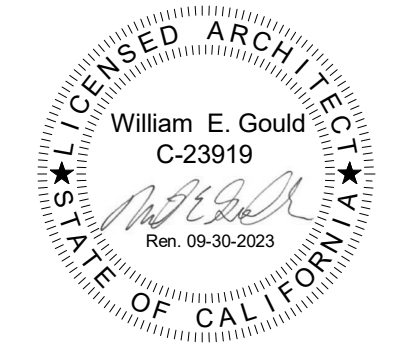
## SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
	ISSUED FOR PERMIT	05/03/22
	1ST BUILDING RESUBMITTAL	10/26/22
1	ADDENDUM 1	08/16/23

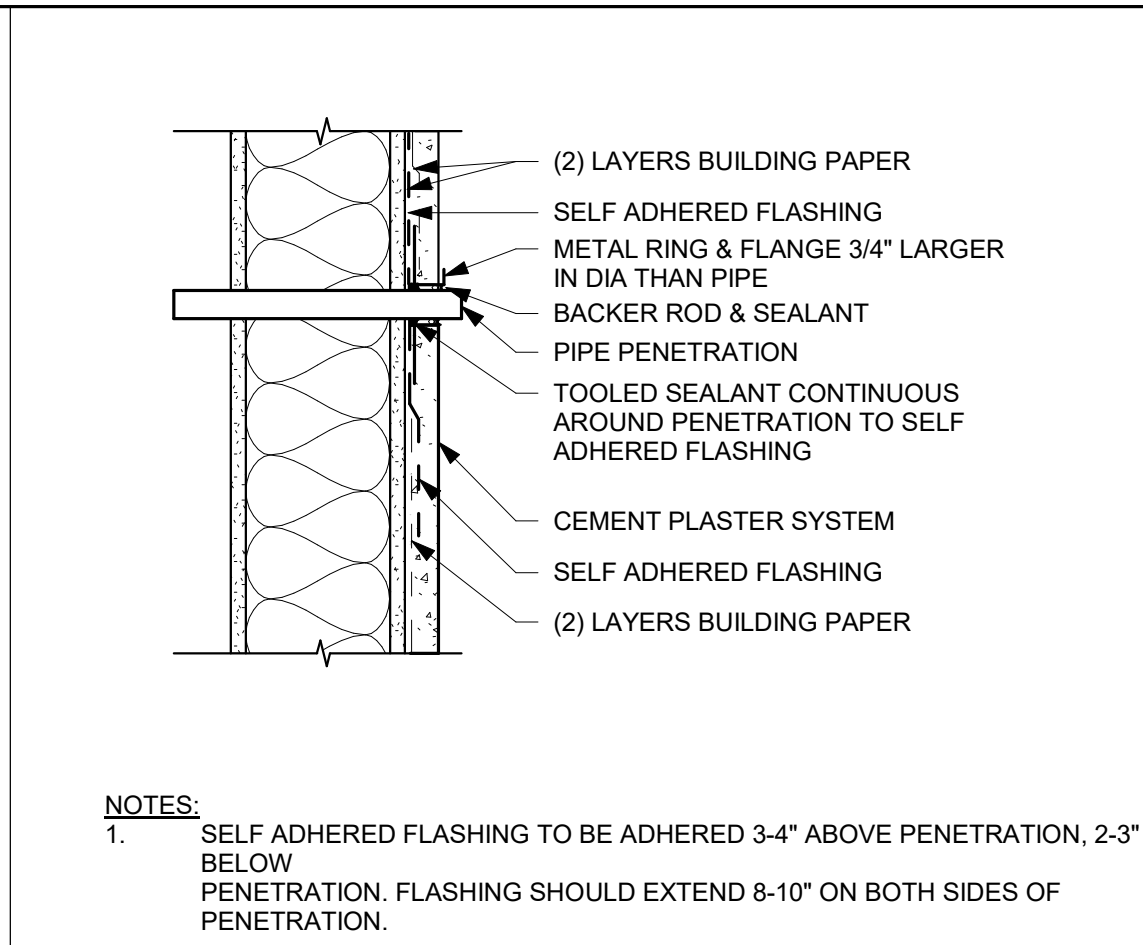
Drawing Title

## EXTERIOR DETAILS

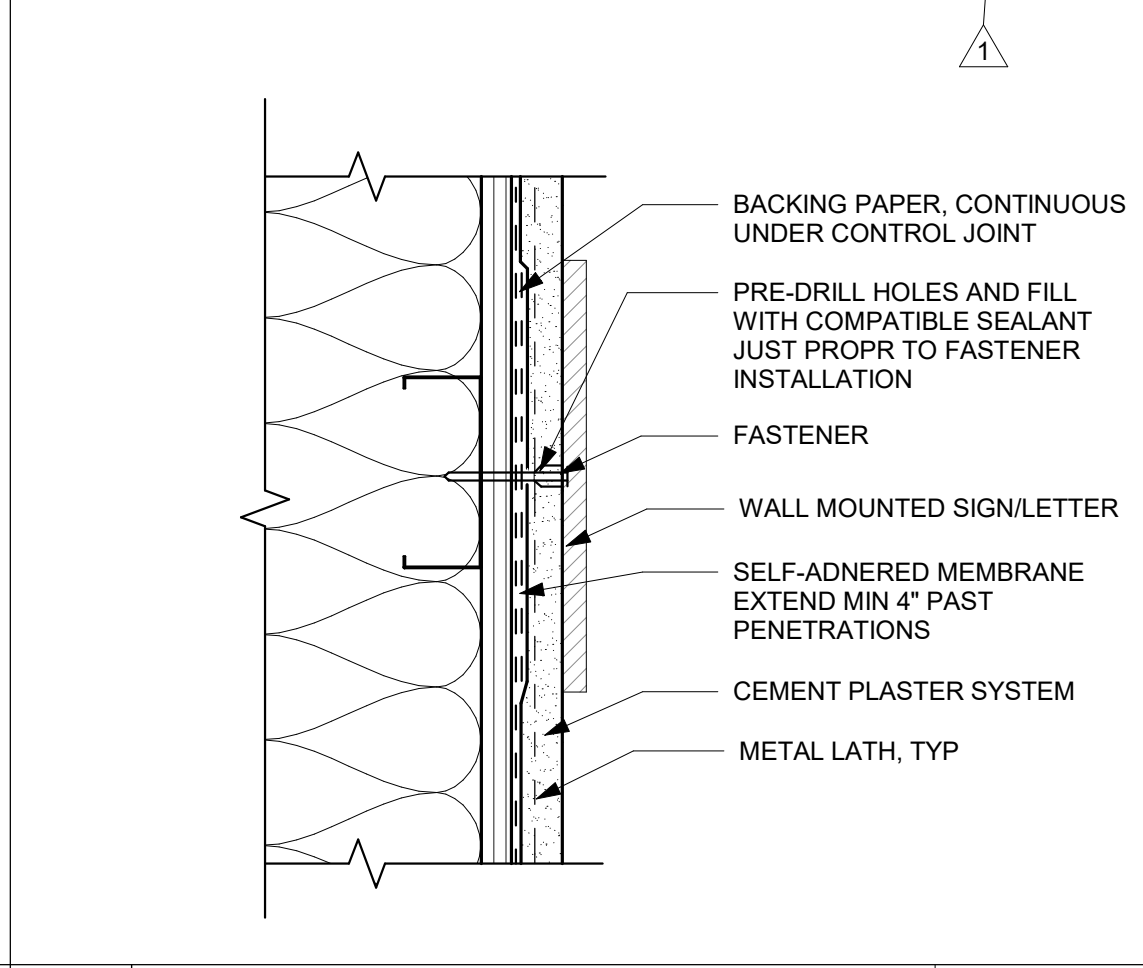
Architect Seal



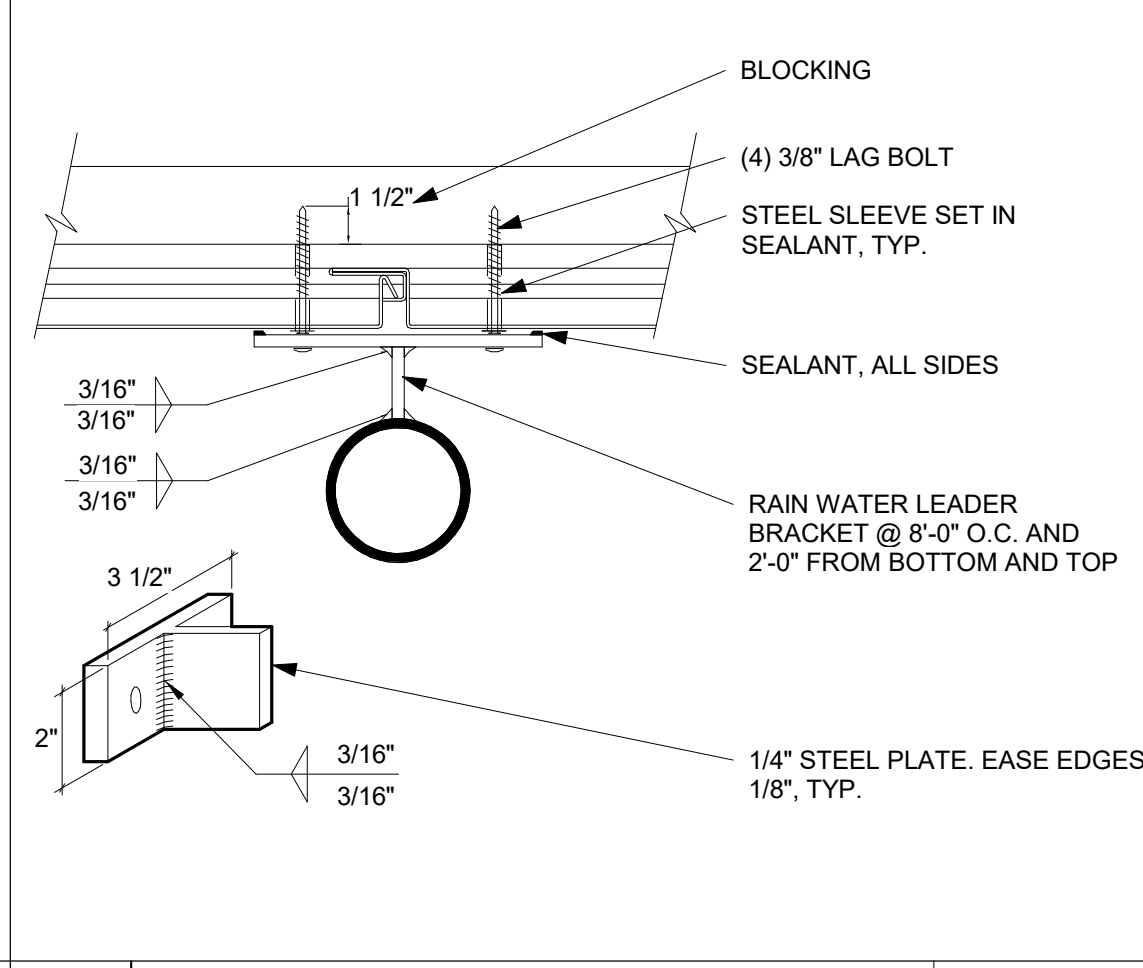
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Application No.	<b>A12.32</b>
Date	
Project Number	



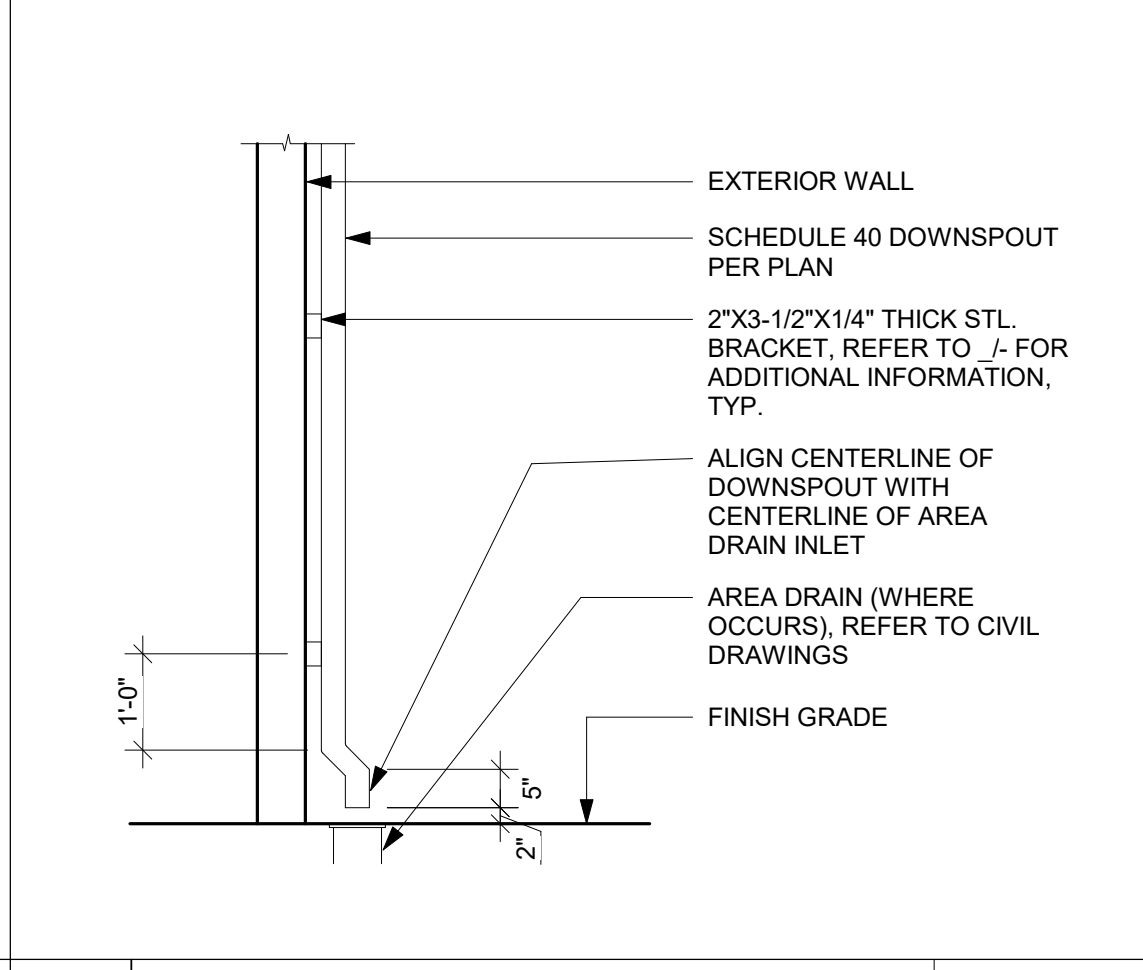
**12** PIPE PENETRATION CEMENT PLASTER 1 1/2" = 1'-0"



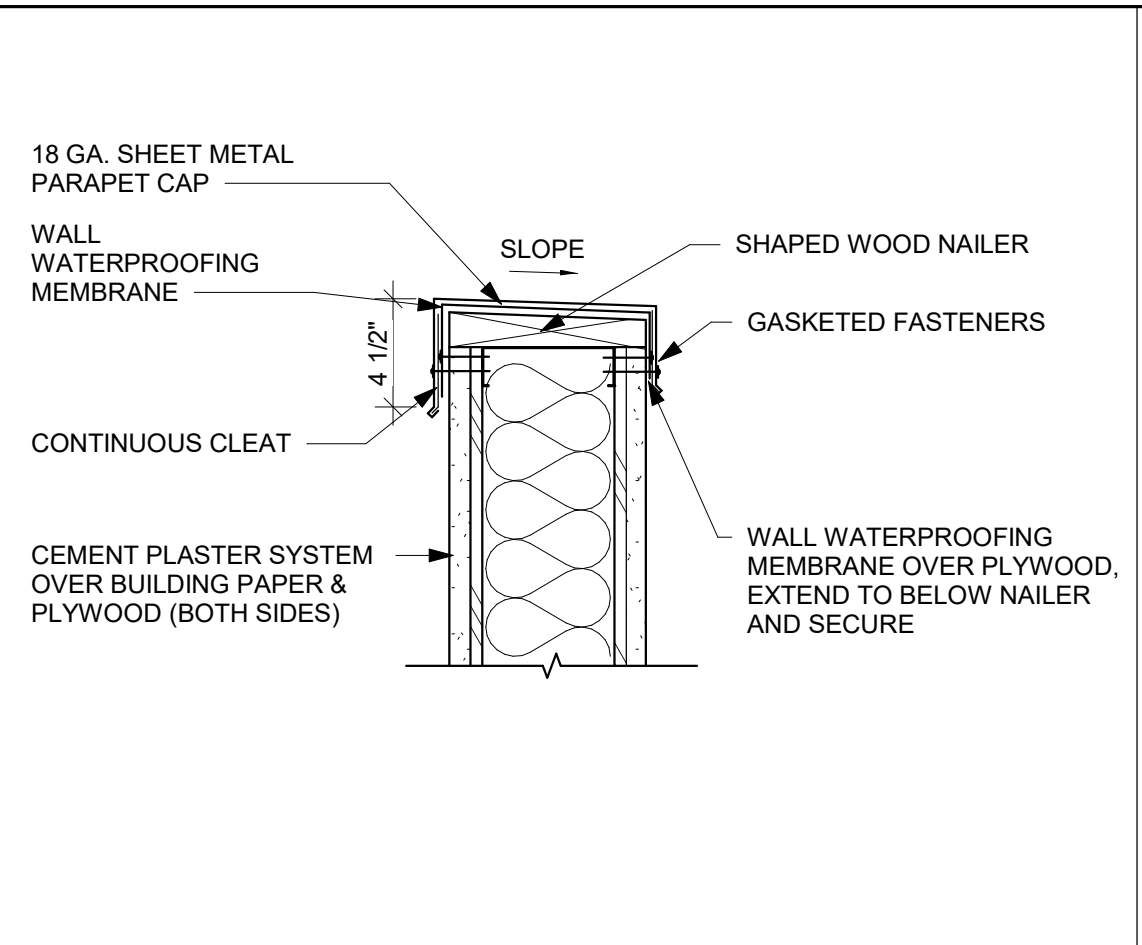
**11** CEMENT PLASTER SIGN/ LIGHT PENETRATION 3" = 1'-0"



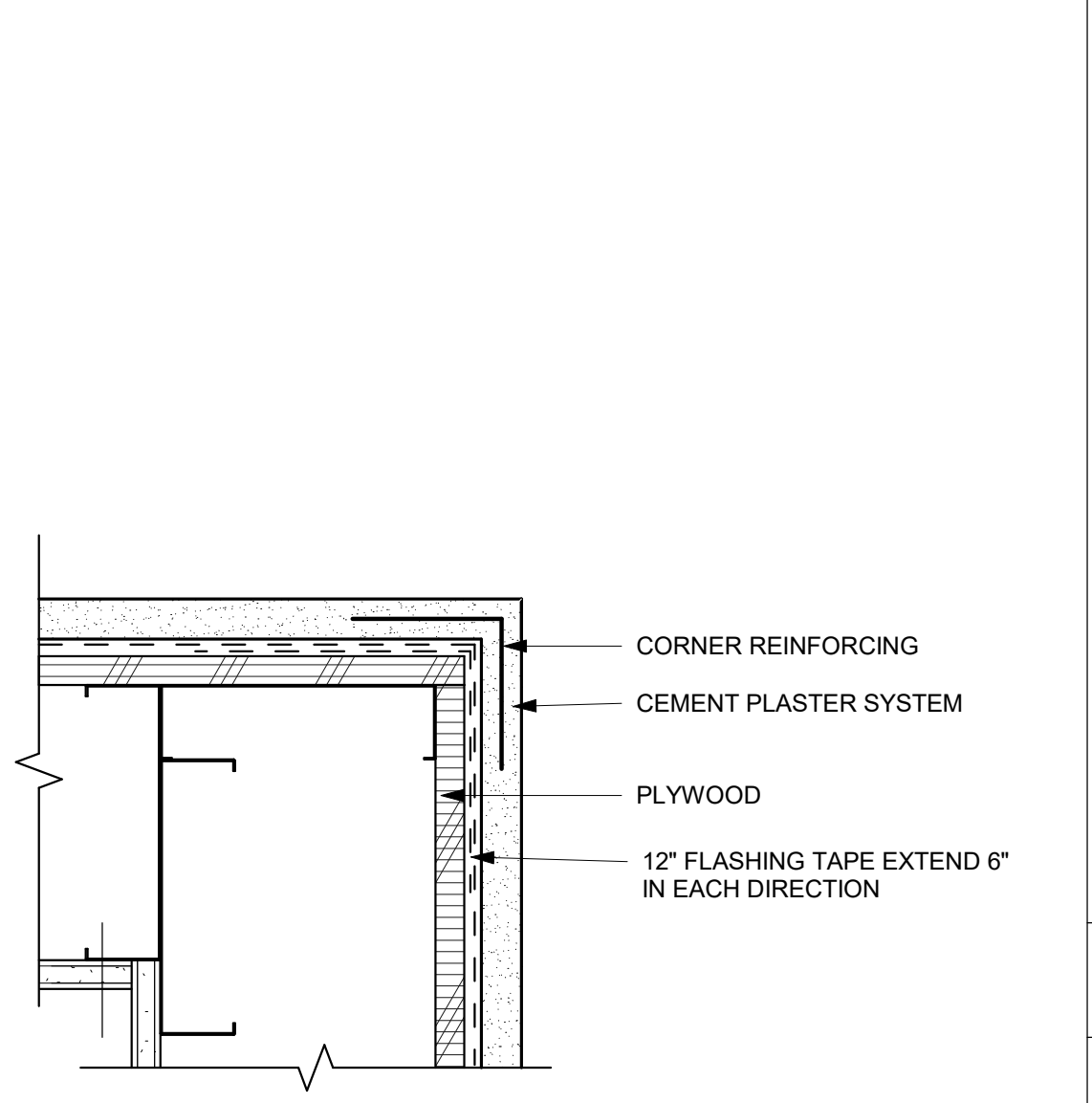
**10** RAIN WATER LEADER - ANCHORAGE 3" = 1'-0"



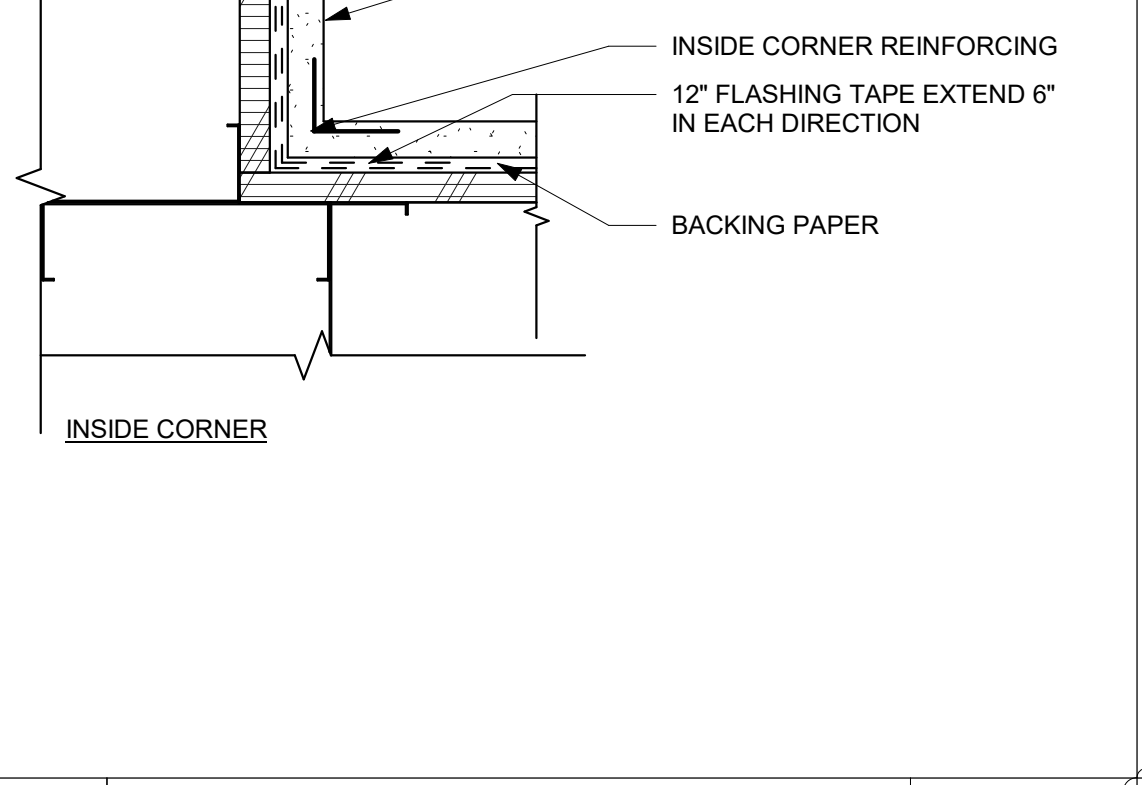
**9** RAIN WATER LEADER - AT GRADE 1/2" = 1'-0"



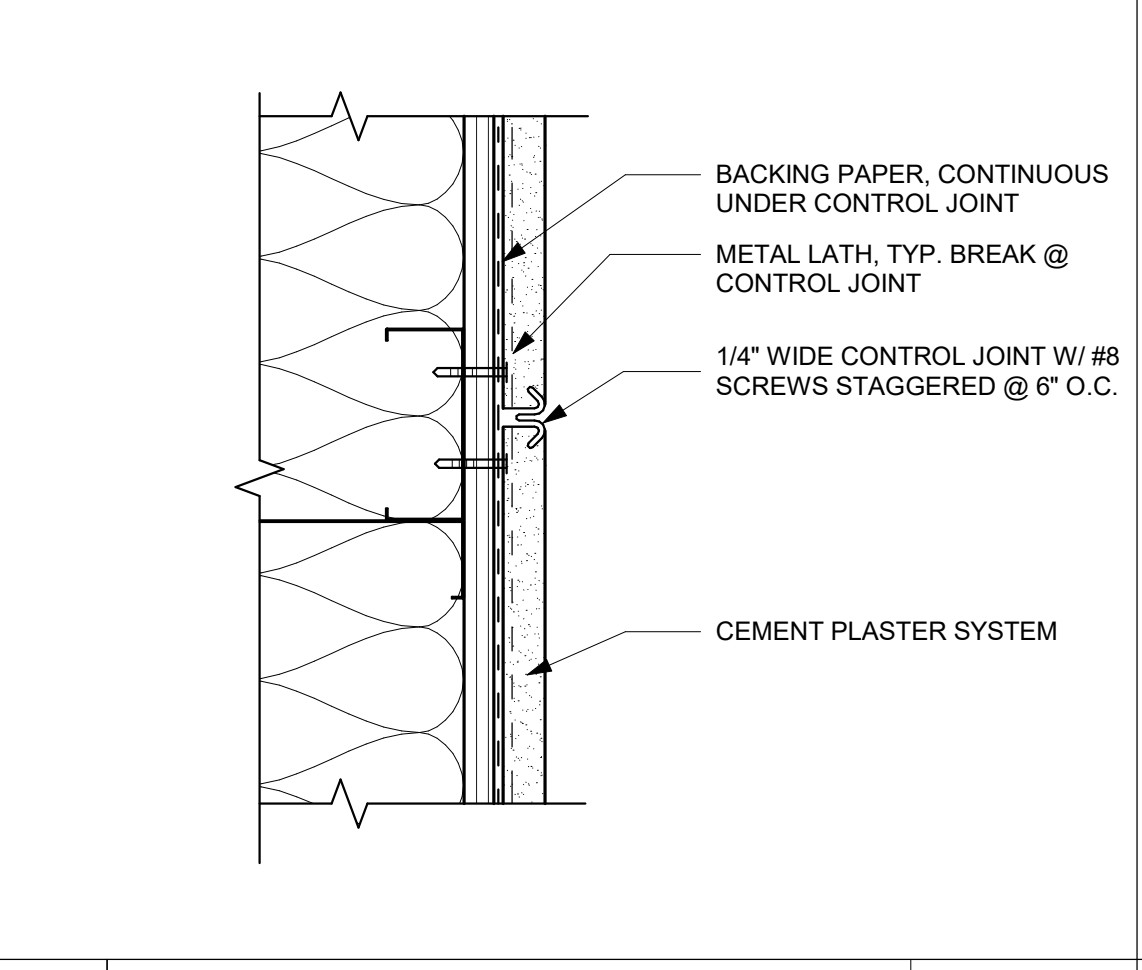
**8** PARAPET WALL 1 1/2" = 1'-0"



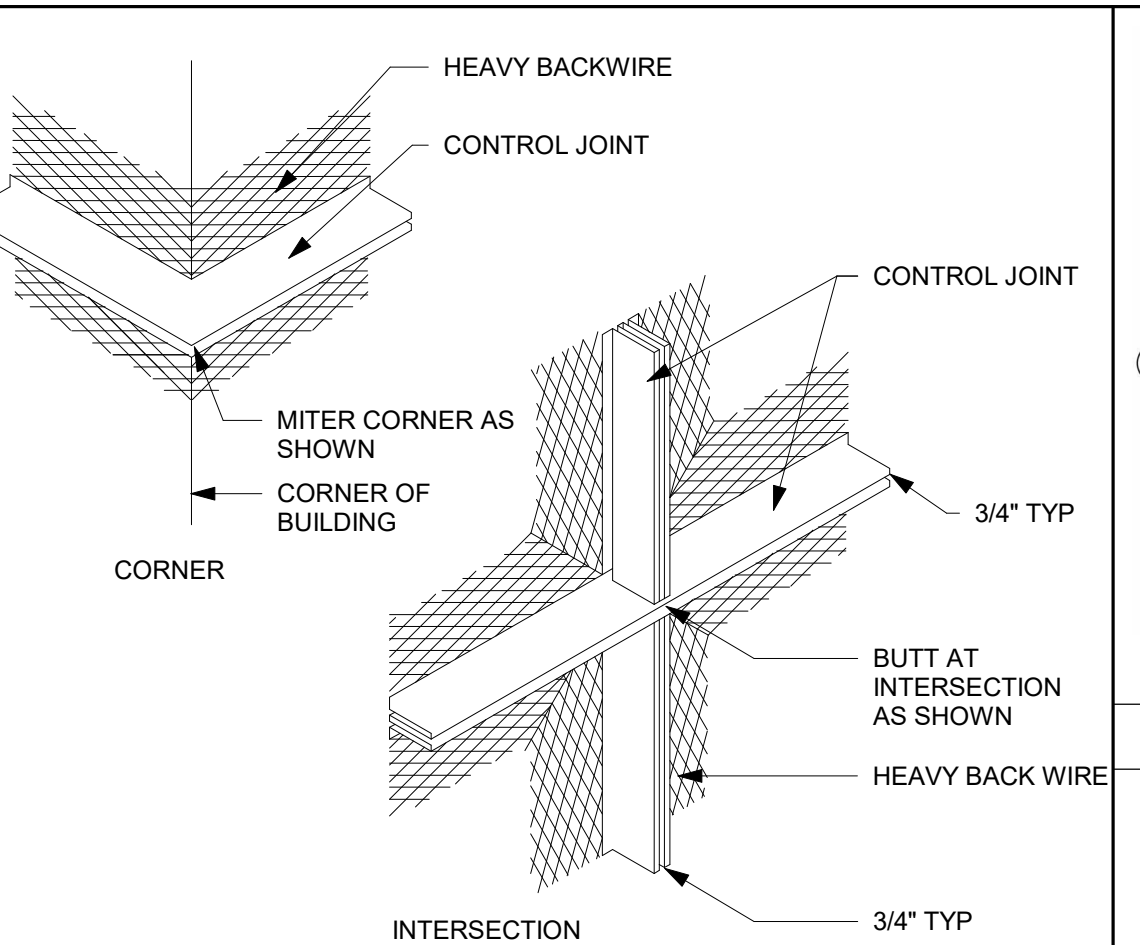
**6** CEMENT PLASTER CORNER 3" = 1'-0"



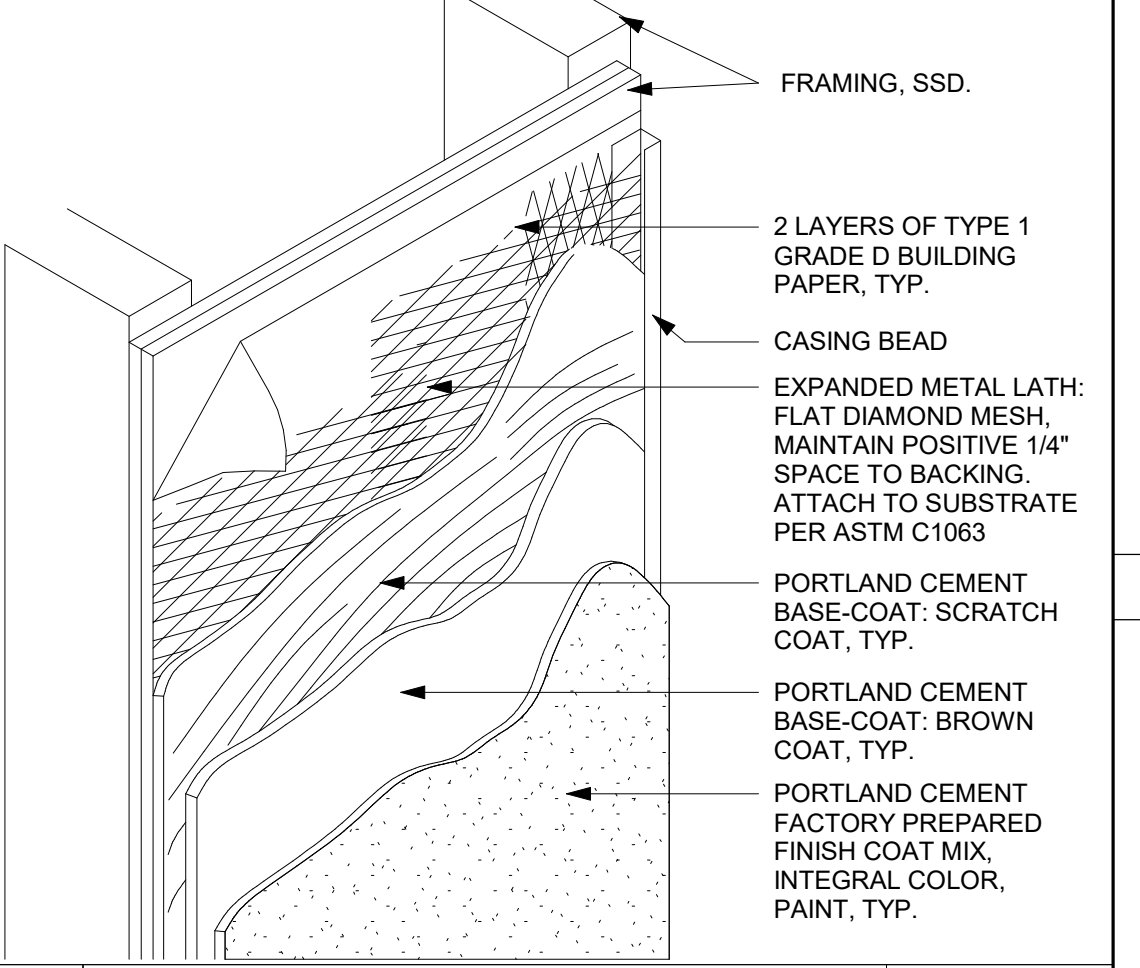
**2** CEMENT PLASTER WALL BASE @ EXISTING BLDG 1 1/2" = 1'-0"



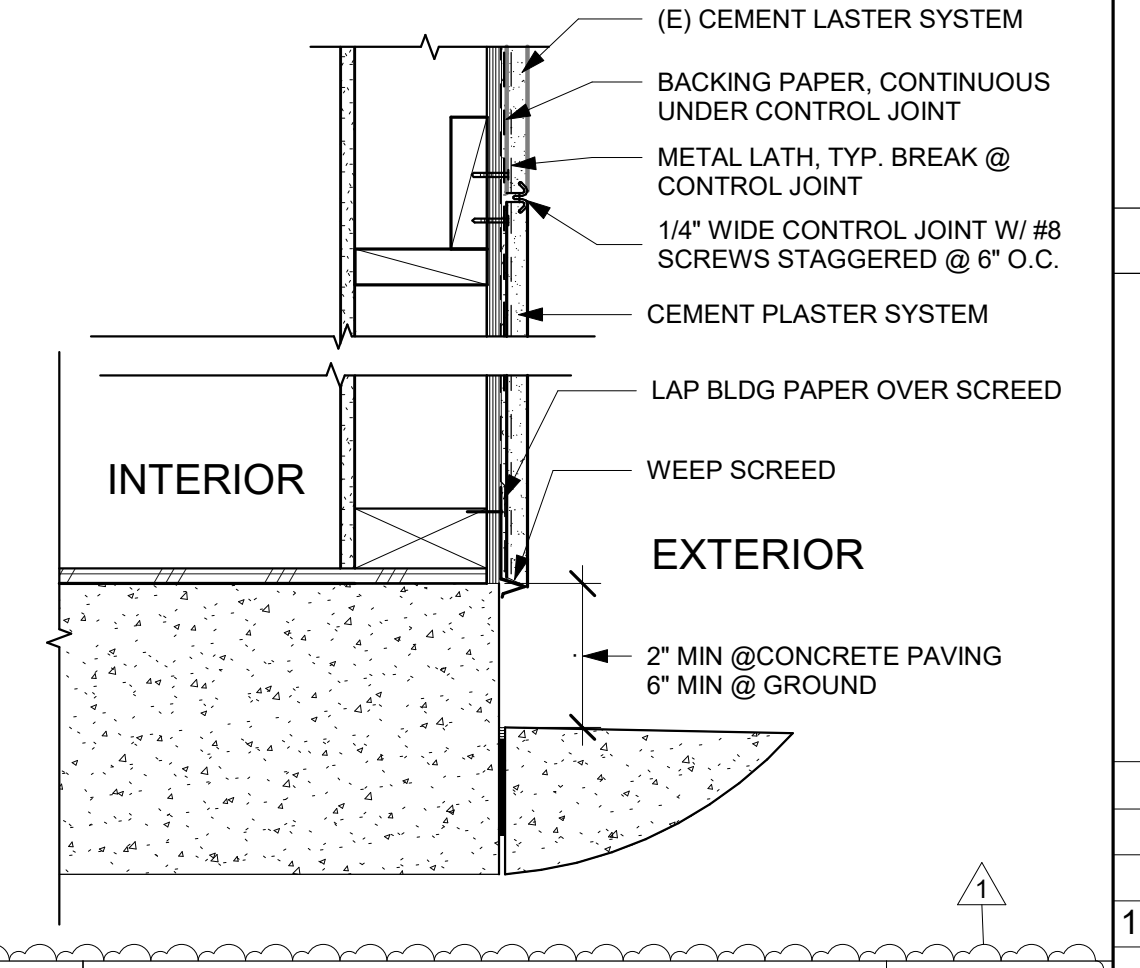
**5** CEMENT PLASTER CONTROL JOINT 3" = 1'-0"



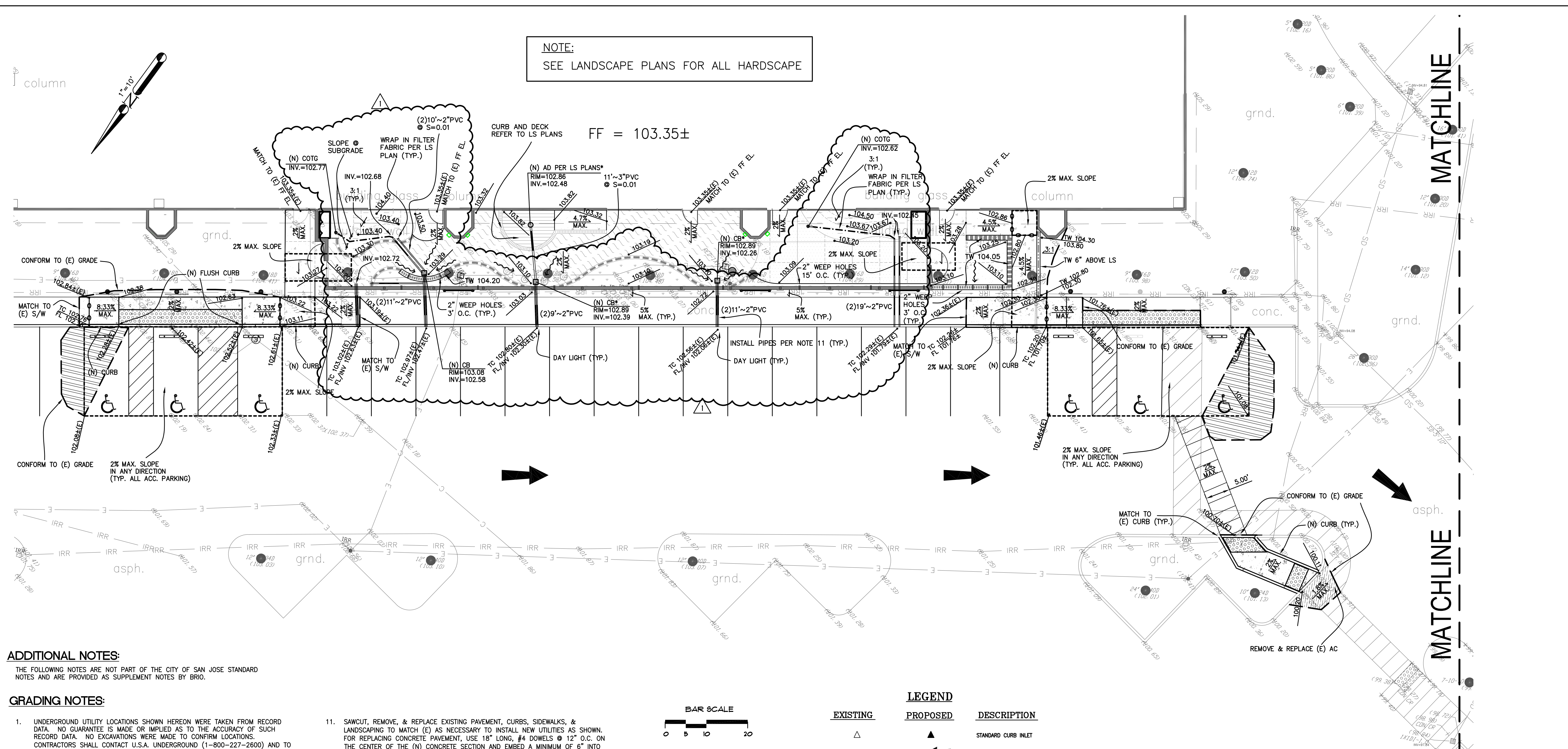
**4** CEMENT PLASTER CONTROL JOINT 3" = 1'-0"



**3** CEMENT PLASTER SYSTEM 3" = 1'-0"



**1** CEMENT PLASTER WALL BASE 1 1/2" = 1'-0"



**NOTE:**  
SEE LANDSCAPE PLANS FOR ALL HARDSCAPE

**ADDITIONAL NOTES:**  
THE FOLLOWING NOTES ARE NOT PART OF THE CITY OF SAN JOSE STANDARD NOTES AND ARE PROVIDED AS SUPPLEMENT NOTES BY BRIO.

**GRADING NOTES:**

- UNDERGROUND UTILITY LOCATIONS SHOWN HEREON WERE TAKEN FROM RECORD DATA. NO GUARANTEE IS MADE OR IMPLIED AS TO THE ACCURACY OF SUCH RECORD DATA. NO EXCAVATIONS WERE MADE TO CONFIRM LOCATIONS. CONTRACTORS SHALL CONTACT U.S.A. UNDERGROUND (1-800-227-2600) AND TO EXERCISE EXTREME CARE IN VERIFYING ALL LOCATIONS PRIOR TO COMMENCING EXCAVATIONS OR OTHER WORK WHICH MAY AFFECT THESE UTILITIES.
- IRRIGATION LATERALS, PARKING LOT LIGHTING WIRING AND SIGNAL WIRING NOT SHOWN. VERIFY LOCATION BEFORE COMMENCING TRENCHING. REPLACE OR REPAIR IMMEDIATELY WHERE BROKEN TO PROVIDE UNINTERRUPTED SERVICE.
- ALL FINISH GRADES SHOWN ARE TO TOP OF PAVEMENT NOT TOP OF CURB UNLESS NOTED OTHERWISE. TOP OF CURB ELEVATION IS 6" ABOVE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- GRADING CONFORM LINE AND MATCH POINTS [EXAMPLE: (39.05±(E))] TO EXISTING CONDITIONS ARE BASED ON ESTIMATED ELEVATIONS FROM AERIAL AND TOPOGRAPHIC SURVEYS. CONTRACTOR SHALL VERIFY ELEVATIONS AT CONFORM AND MATCH POINTS BEFORE GRADING TO ENSURE PROPER DRAINAGE AND SLOPES.
- ALL CATCH BASINS SHALL BE OLDCASTLE (12"x12") WITH TRAFFIC WEIGHT GRATES, BOLTED DOWN, WHEN PIPE SIZES ARE 10" OR GREATER USE CATCH BASIN OLDCASTLE (24"x24"). UNLESS NOTED OTHERWISE, FOR CATCH BASINS IN WALKWAY AREAS, INCLUDING EXISTING CATCH BASINS, USE HEEL PROOF, ADA, AND TRAFFIC WEIGHT GRATE BY OLDCASTLE (888) 965-3227 OR APPROVED ALTERNATE.
- PRIOR TO CONNECTING TO EXISTING UTILITIES OR INSTALLING UPSTREAM UTILITIES, VERIFY LOCATION, FLOW DIRECTION, SIZE, INVERT OR DEPTH AT POINT OF CONNECTION.
- UTILITY ABANDONMENT/REMOVAL: DISCONNECT AND CAP PIPES AND SERVICES TO REMAIN. REMOVE ALL PORTIONS OF ALL UTILITIES WITHIN NEW BUILDING FOOTPRINT AND DISPOSE OF OFF-SITE. OTHERWISE ABANDON IN PLACE U.N.O.
- NOTIFY THE ENGINEER IMMEDIATELY OF ANY UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS. PRESERVE AND REPAIR ANY UTILITIES THAT ARE DAMAGED AND THAT ARE TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CROSSINGS OF NEW UTILITIES WITH EACH OTHER, AND WITH EXISTING UTILITIES. VERIFY EXISTING PIPE LOCATION AND INVERT PRIOR TO INSTALLING NEW UTILITIES. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR DEVIATIONS. INSTALL GRAVITY UTILITIES BEFORE WATER & DRY UTILITIES TO ENSURE NO CONFLICTS.
- ALL BUILDING SEWER LATERALS SHALL BE WITH CLEANOUT TO GRADE.

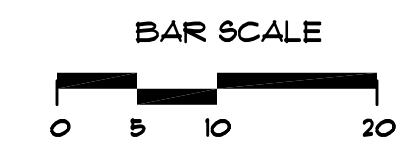
- SAWCUT, REMOVE, & REPLACE EXISTING PAVEMENT, CURBS, SIDEWALKS, & LANDSCAPING TO MATCH (E) AS NECESSARY TO INSTALL NEW UTILITIES AS SHOWN. FOR REPLACING CONCRETE PAVEMENT, USE 18" LONG, #4 DOWELS @ 12" O.C. ON THE CENTER OF THE (N) CONCRETE SECTION AND EMBED A MINIMUM OF 6" INTO (E) CONCRETE WITH EPOXY. FOR LANDSCAPE AREAS, REFER TO ARCHITECTURAL/LANDSCAPE SPECIFICATIONS FOR TOP SOIL REQUIREMENTS.
- ADJUST ALL (E) UTILITY VALVES, BOX, ETC. INCLUDING NOT SHOWN TO FINISHED GRADE (TYP.).
- CONTRACTOR IS RESPONSIBLE FOR PRESERVING & PROTECTING ALL SURVEY CONTROL POINTS. A LICENSED LAND SURVEYOR SHALL REPAIR AND OR REPLACE ANY SURVEY CONTROL POINTS THAT ARE DISPLACED OR DAMAGED.
- CONTRACTOR SHALL COORDINATE ROUGH GRADING AND FINE GRADING TO ENSURE EXISTING SUITABLE TOPSOIL IS REMOVED, STOCKPILED AND REINSTALLED INTO ALL PROPOSED LANDSCAPE AREAS PER LANDSCAPE SPECIFICATION SECTION 32.90.00. IN THE EVENT THERE IS NOT ENOUGH EXISTING TOPSOIL, OR NO PLACE TO STOCKPILE TOPSOIL, CONTRACTOR SHALL IMPORT AND INSTALL TOPSOIL PER LANDSCAPE SPECIFICATION 32.90.00.

**PAVING LEGEND**

	SEE LANDSCAPE PLANS FOR ALL HARDSCAPE
	NEW AC OVERLAY WEDGE CUT DTL. 1/SHEET 4
	INSTALL 36" WIDE BAND OF DETECTABLE WARNING TRUNCATED DOMES PER MFR'S. SPECS. USE WAUSAU ADA-2 PAVR TRUNCATED DOMES (800.388.8728) MEETING CBC SECTION 118-705 OR APPROVED ALTERNATE. FINISH TO MATCH S/W.
	NEW TRUCK PAVING SECTION 4" AC OVER 8" CL. II A.B. SEE DTL. 2/SHEET 4

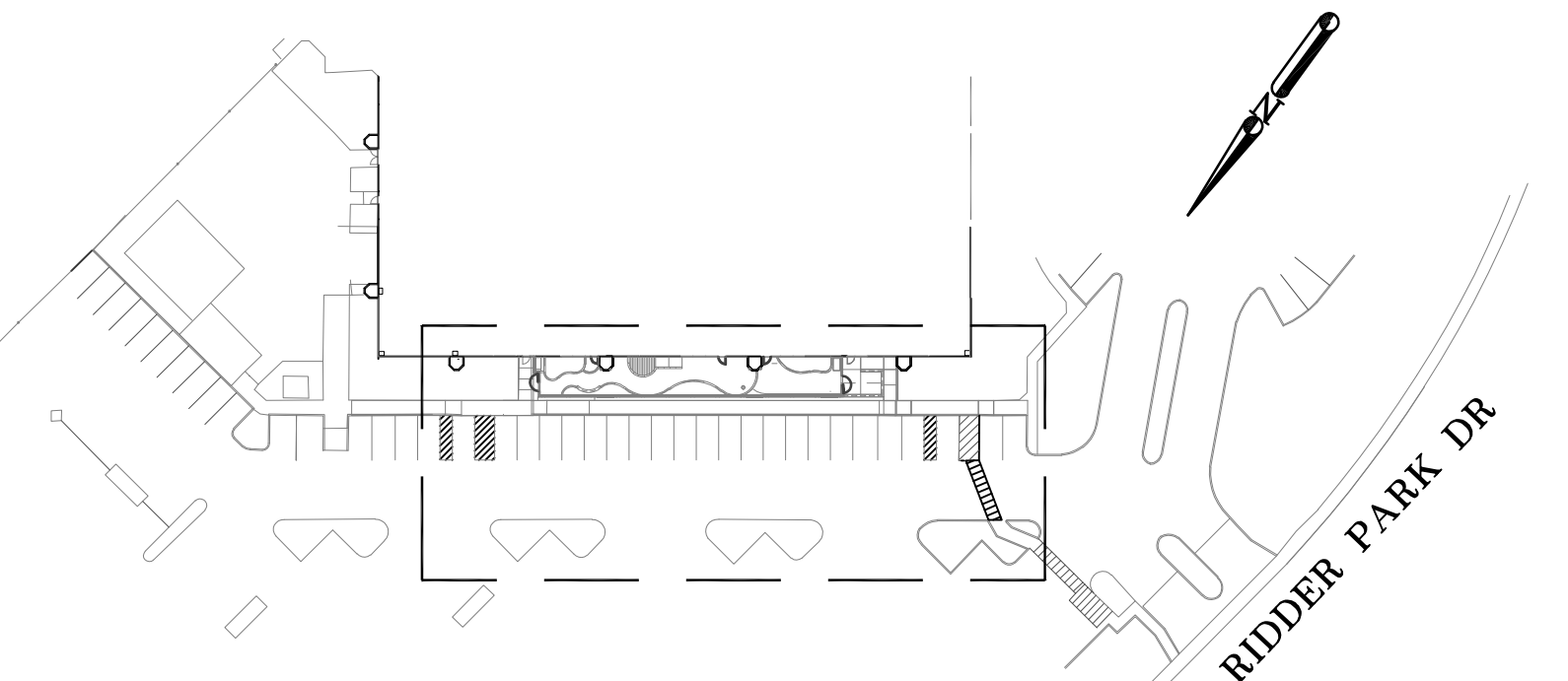
**COORDINATION NOTES:**

- REFER TO LANDSCAPING PLANS FOR IRRIGATION RELOCATION/DEMOLITION.
- REFER TO LIGHTING PLANS FOR NEW/RELOCATED PARKING LOT LIGHTING.
- REFER TO ARCHITECTURAL PLANS FOR ALL DEMOLITION WORK U.N.O.
- REFER TO LANDSCAPE PLANS FOR TREE PROTECTION/REMOVAL.



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		STANDARD CURB INLET
		OVERLAND RELEASE
		CLEAN OUT TO GRADE
		CATCH BASIN
		AREA DRAIN
		DRAINAGE ARROW
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		VALLEY GUTTER
		SPOT ELEVATION
		PROPERTY LINE
		CONCRETE CURB
		CONCRETE CURB & GUTTER
		SAWCUT/CONFORM LINE
		SIGN
		FIRE HYDRANT
		EDGE OF PAVEMENT
		FENCE
		STORM DRAIN & SIZE
		PERFORATED PIPE
		GRADE BREAK



4/7/23	ADDENDUM 1
	DATE
	BY
	CSJ
	REVISIONS

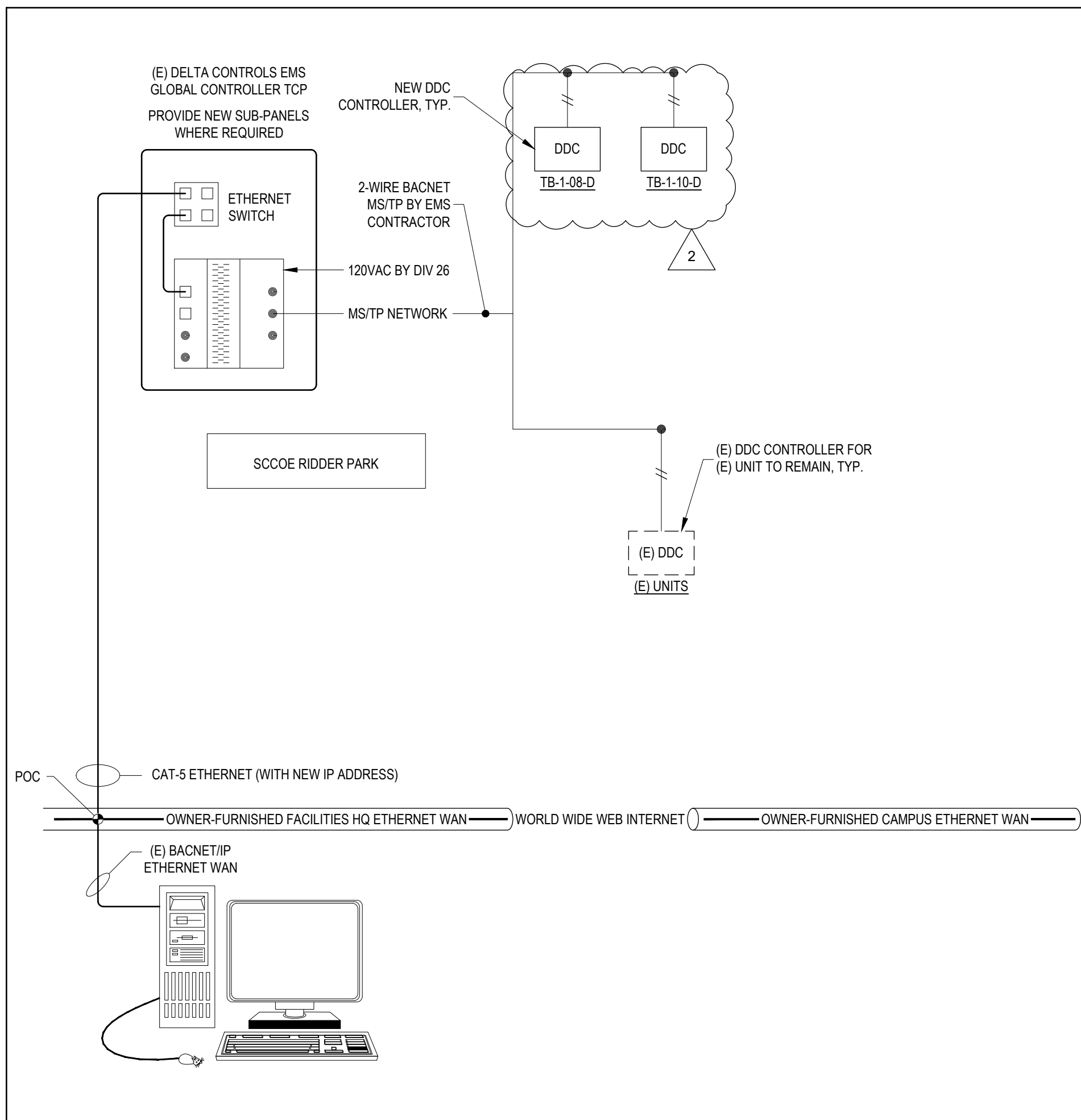


SANTA CLARA COUNTY OFFICE  
OF EDUCATION  
1290 RIDDER PARK DR  
SAN JOSE, CA

**BRIO Engineering**  
ASSOCIATES, INC.  
1885 The Alameda, Suite 210  
San Jose, CA 95126-1747  
Tel. (408) 241-5494  
Fax (408) 241-5493

GRADING & DRAINAGE PLAN  
SANTA CLARA COUNTY OFFICE OF EDUCATION  
EARLY LEARNING CENTER  
ROUGH GRADING & DRAINAGE PLAN  
CALIFORNIA  
Project No.: SC02111 | Designer: AD | Checker: BD | Date: 03/07/22

SHEET  
2  
Of 6 SHEETS  
PW PROJECT #  
3-05719



**SCOPE OF WORK:**

NEW GRAPHICS, FLOOR PLAN, SEQUENCE OF OPERATION AND SYSTEM INFORMATION TO BE DEVELOPED ON (E) DELTA CONTROLS SERVER. NEW GRAPHICS SHALL INCLUDE INTERACTIVE BUILDING FLOOR PLANS. ROOMS SHALL BE COLOR CODED BASED ON ROOM TEMPERATURES, AND WHETHER UNITS ARE IN NORMALLY OCCUPIED VS OVERRIDE MODE.

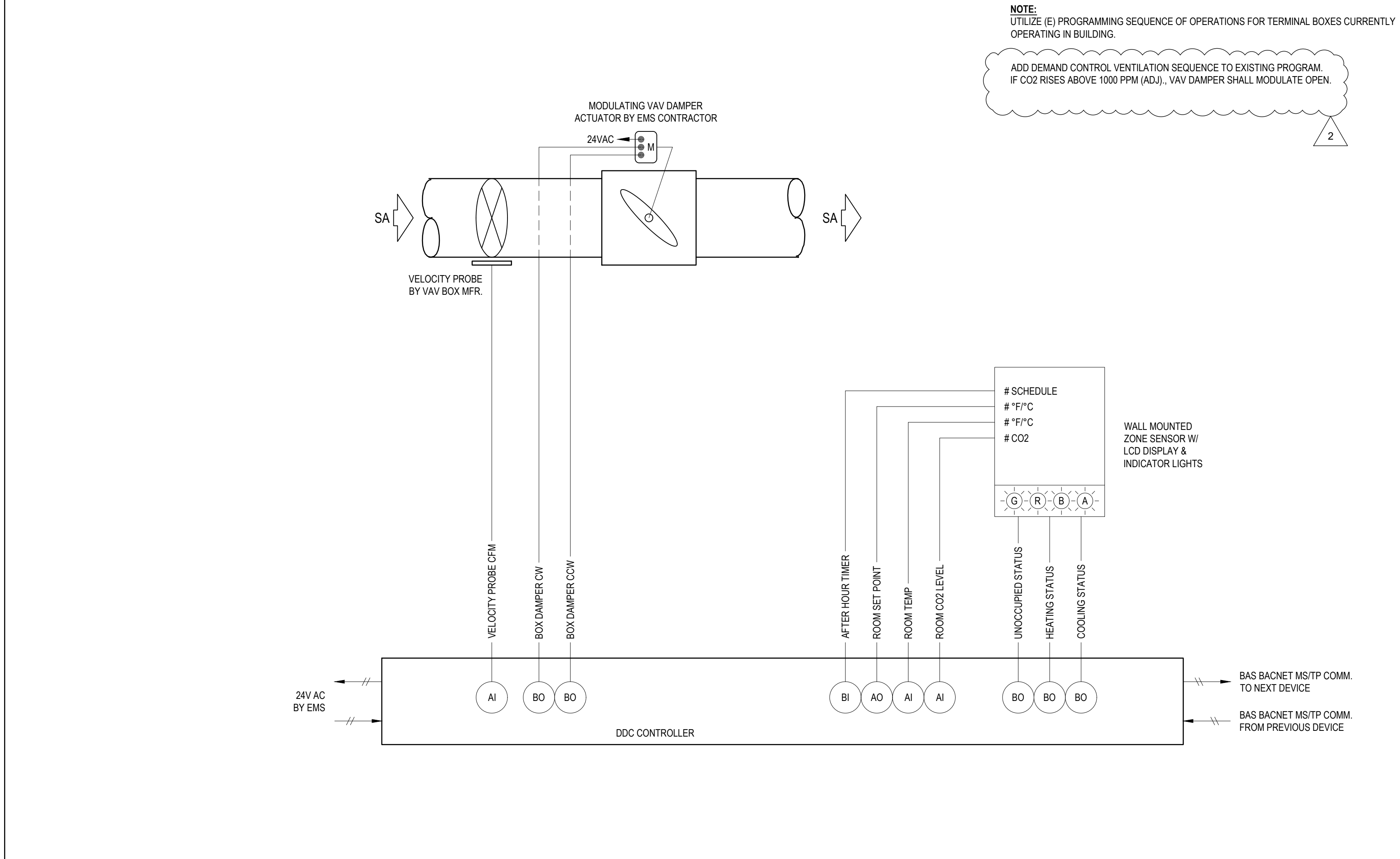
CONTROLS FOR (E) UNITS SHALL REMAIN ACTIVE AND OPERATIONAL. IF (E) CONTROLS NEED TO BE DISCONNECTED FOR NEW WORK, THEY SHALL BE RECONNECTED AND VERIFIED FOR PROPER OPERATION.

CONTRACTOR SHALL PROVIDE NEW CONTROLLERS, THERMOSTATS, AND WIRING FOR CONTROLS WORK.

**GENERAL NOTES**

1. THESE CONTROL DRAWINGS ARE DIAGRAMMATICAL AND DO NOT DEPICT ALL CONTROL WIRES, RELAYS OR COMPONENTS OF A COMPLETE SYSTEM. IT IS THE RESPONSIBILITY OF THE TEMPERATURE CONTROLS CONTRACTOR TO PROVIDE A COMPLETE AND FUNCTIONAL CONTROL SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTROLS CONTRACTOR SHALL HAVE THE RESPONSIBILITY AS THE EXPERT IN THE PROPER APPLICATION OF CONTROL COMPONENTS AND DDC SYSTEMS. THE FINAL DESIGN, INSTALLATION, AND OPERATION OF THE CONTROL SYSTEM IS THE RESPONSIBILITY OF THE CONTROLS CONTRACTOR. CONTROLS CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING AND DETERMINE THE REQUIRED NUMBER OF CONTROL PANELS AND OPTIMAL LOCATION FOR EACH.
3. THE CONTROLS CONTRACTOR SHALL MAKE ADDITIONS AND/OR MODIFICATIONS TO THE DESIGN AS REQUIRED AT NO ADDITIONAL COST. CONTROLS CONTRACTOR SHALL WORK WITH THE MECHANICAL ENGINEER AND OBTAIN APPROVAL FOR ANY NECESSARY REVISIONS.
4. CONTROLS CONTRACTOR SHALL COORDINATE EXACT REQUIREMENT FOR CONTROL HARDWARE WITH ALL ASSOCIATED TRADES AND OWNER. REFER TO DRAWINGS FOR PRELIMINARY OPERATING SEQUENCES.
5. CONTROLS CONTRACTOR SHALL SUBMIT DETAILED SEQUENCES FOR ENGINEER'S REVIEW AND APPROVAL.
6. CONTROLS CONTRACTOR SHALL PROVIDE ALL CONTROLS, WIRING DIAGRAMS, "AS-BUILT" DRAWINGS, SYSTEM START-UP, AND PROGRAMMING.
7. CONTROLS CONTRACTOR TO WIRE COMMUNICATION BUS FROM NETWORK ROUTER TO ALL LOCAL BACNET CONTROLLERS.
8. CONTROLS CONTRACTOR TO PROVIDE THE NETWORK ROUTER, TEMPERATURE CONTROL PANELS, AND ALL LOCAL CONTROL PANELS FOR ALL EQUIPMENT AS REQUIRED.
9. CONTROLS CONTRACTOR TO PROVIDE ALL TEMPERATURE WIRING FOR ALL TEMPERATURE CONTROL WORK.
10. PROVIDE EMT CONDUIT AND JUNCTION BOXES FOR ALL TEMPERATURE CONTROL WORK RUNNING IN WALL SPACES.
11. PROVIDE RIGID CONDUIT FOR ALL EXTERIOR TEMPERATURE CONTROL WORK.
12. USE PLENUM RATED CABLE AND "J" HOOKS FOR ALL ABOVE CEILING AND FURRED SPACE TEMPERATURE CONTROL WORK.
13. ELECTRICAL CONTRACTOR TO PROVIDE ALL POWER WIRING FOR TEMPERATURE CONTROL PANELS AND LINE VOLTAGE THERMOSTATS. CONTROLS CONTRACTOR SHALL COORDINATE REQUIREMENTS WITH ELECTRICAL CONTRACTOR.
14. MECHANICAL/CONTROLS CONTRACTOR TO COORDINATE WITH ELECTRICAL AND VERIFY CIRCUITS ARE CORRECT BEFORE WIRING CONTROLS.
15. MECHANICAL/CONTROLS CONTRACTOR TO PROVIDE ALL CONTROL COMPONENTS NECESSARY TO FULFILL THE DESIGN INTENT OF THE DRAWINGS.

1 EMS SYSTEM ARCHITECTURE



2 TERMINAL BOX CONTROL SCHEMATIC

Regulatory Agency Approval

**ARTiK**  
ART & ARCHITECTURE

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San Jose, CA 95111  
Phone 408.224.9890  
Fax 408.224.9891  
www.Artika3.com

Consultant

CEG JOB NO: 2202

**CYPRESS**  
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HVAC, Plumbing, Fire Protection  
Building Commissioning  
Energy Performance  
Environmental Compliance  
Training & Technical Support

831.218.1802, Suite A8  
Monterey, CA 93940  
cypresseg.com

Project Title

**SCCOE EARLY LEARNING CENTER**

1290 Ridder Park Dr,  
San Jose

No	Revisions/Submissions	Date
1	BUILDING RESUBMITTAL #1	2022.10.26
2	BID ADDENDA	2023.03.07

Drawing Title

**CONTROLS - MECHANICAL**

Consultant Stamp

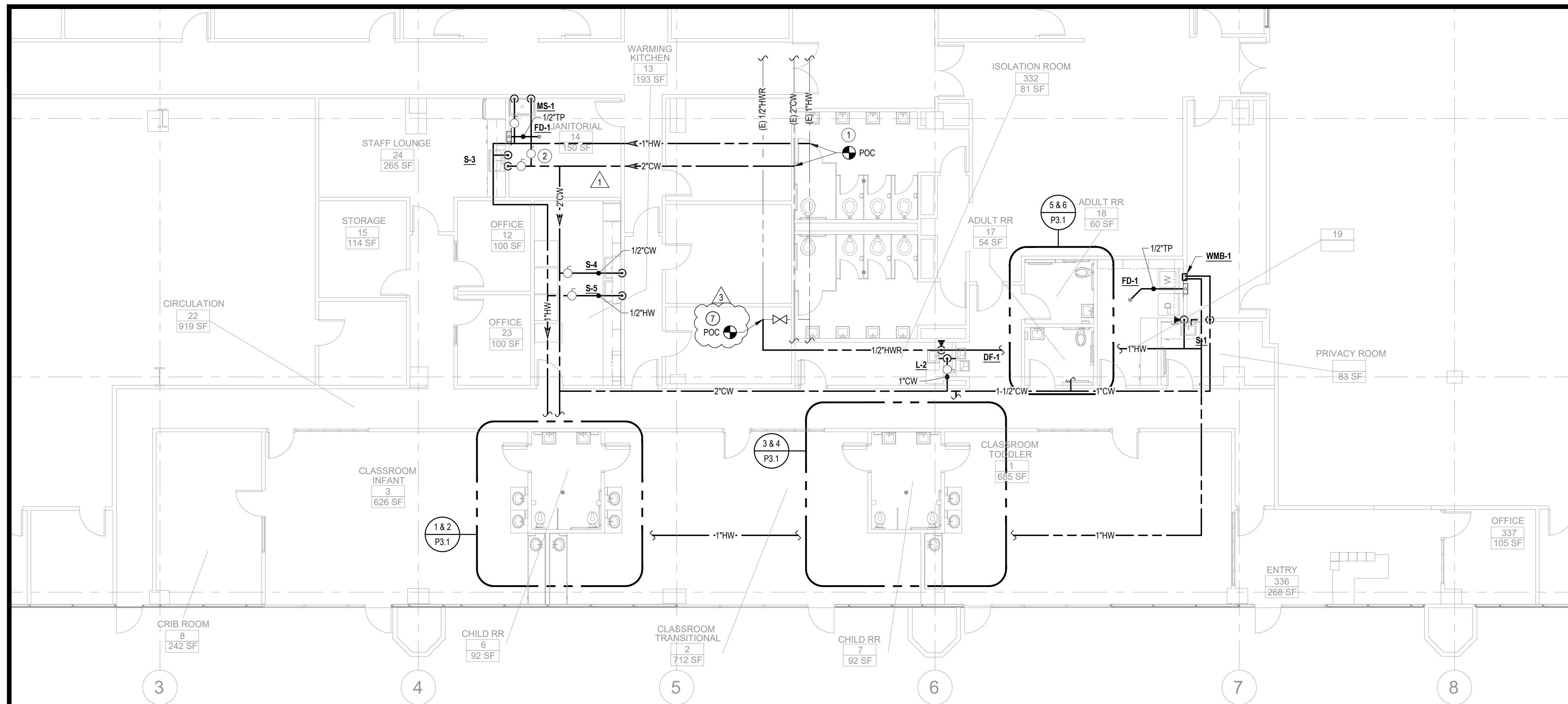
File Number

Application Number

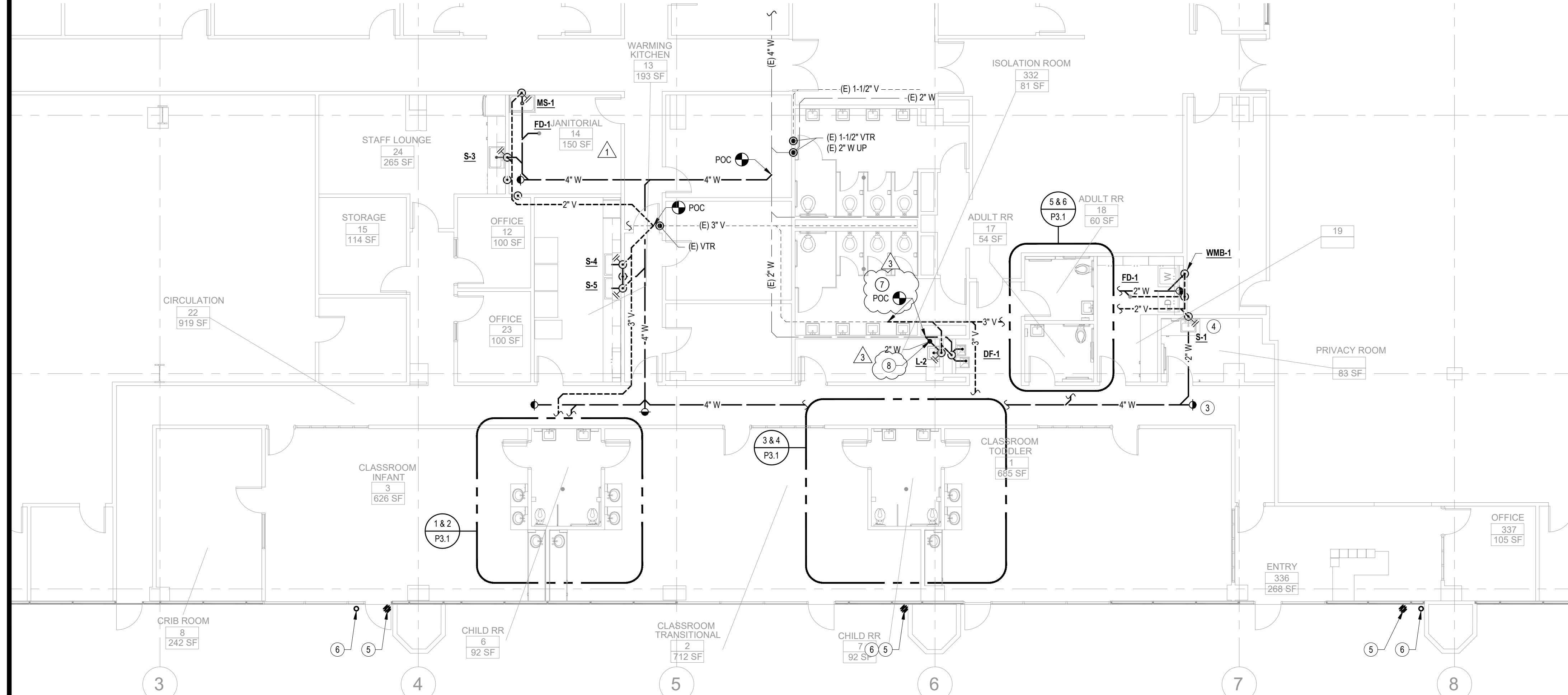
Project No.

Drawing No

**M5.1**



**1 FLOOR PLAN - NEW - PLUMBING - WATER**  
 P2.1 SCALE: 1/8" = 1'-0"



**2 FLOOR PLAN - NEW - PLUMBING - WASTE AND VENT**  
 P2.1 SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW BUILDING STRUCTURES, SERVICES AND OWNER'S PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION.
  - COORDINATE THE LOCATIONS OF OPENINGS, PENETRATIONS, PIPING, AND EQUIPMENT WITH RESPECT TO BUILDING STRUCTURE AND OTHER BUILDING SERVICES TO AVOID CONFLICT.
  - INFORMATION SHOWN IS BASED ON AVAILABLE AS-BUILTS AND THE LOCATION OF ALL EQUIPMENT, DUCT, PENETRATIONS, PIPING, AND OTHER PROJECTIONS SHOWN ON THE PLANS IS APPROXIMATE. NOT ALL EXISTING ITEMS ARE IDENTIFIED OR SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS, INCLUDING ALL RELEVANT DIMENSIONS, EQUIPMENT COUNTS, AND LOCATIONS PRIOR TO SUBMITTING A BID.
  - SAWCUT FLOOR FOR INSTALLATION OF WASTE PIPING. SEE ARCHITECT'S DRAWINGS FOR TRENCHING AND PATCHING OF FLOOR.
  - VERIFY INVERT OF (E) PIPE AT POINT OF CONNECTION AND CONFIRM AVAILABILITY OF SLOPE FOR WASTE PIPE PRIOR TO INSTALLING NEW PIPING.
  - DRAWINGS ARE DIAGRAMMATIC TO SHOW DESIGN INTENT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING PIPE SIZES AND INSTALLING TO ENSURE THERE ARE NO CONFLICTS WITH OTHER TRADES OR STRUCTURAL ELEMENTS. PIPE ROUTING MAY BE MODIFIED TO ALLOW FOR CONDITIONS ENCOUNTERED DURING CONSTRUCTION. ALL CHANGES SHALL BE TRACKED ON AS-BUILTS.
  - PIPE DROPS SHALL BE MADE WITHIN WALLS. PROVIDE ACCESS PANELS FOR SHUT-OFF VALVES, TRAP PRIMERS, AND WATER HAMMER ARRESTORS.
  - EACH ROOM SHALL HAVE ITS OWN INDEPENDENT WATER SHUT-OFF VALVE WHETHER SHOWN ON THE DRAWINGS OR NOT.
  - WATER AND VENT PIPING IS ABOVE CEILING. WASTE PIPING IS BELOW GROUND.
  - SEE ARCHITECT'S DRAWINGS FOR APPLIANCE LAYOUT. PROVIDE COLD WATER CONNECTION WITH WATER HAMMER ARRESTOR AT EACH REFRIGERATOR. PROVIDE PIPING CONNECTIONS PER 1/PO.2 AT EACH DISHWASHER.

- NEW SHEET NOTES**
- CONNECT TO HW AND CW PIPING ABOVE CEILING, ATTEMPT TO ACCESS PIPING ABOVE CEILING FROM OUTSIDE RESTROOM DURING CONSTRUCTION.
  - PROVIDE WATER SHUT-OFF VALVE FOR EACH ROOM.
  - 4" FLOOR CLEANOUT, TYP.
  - PROVIDE WALL CLEANOUT AT EACH SINK, TYP.
  - REMOVE (E) DOWNSPOUT / RAIN WATER LEADER.
  - RELOCATE CAST IRON RAIN WATER LEADER AND CONNECT TO STORM DRAIN. SEE CIVIL DRAWINGS.
  - ATTEMPT TO ACCESS AND INSTALL PIPING ABOVE CEILING FROM ISOLATION ROOM 332 DURING CONSTRUCTION.
  - WASTE PIPING IN WALL. ACCESS SHALL BE FROM ISOLATION ROOM 332 DURING CONSTRUCTION. DO NOT DISTURB WALL ON RESTROOM SIDE.

Regulatory Agency Approval

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Consultant

CEG JOB NO: 22002

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851.218.1002, Suite A8  
 Monterey, CA 93940  
 cypressag.com

Project Title

**SCCOE EARLY LEARNING CENTER**

1290 Ridder Park Dr,  
 San Jose

No	Revisions/Submissions	Date
1	BUILDING RESUBMITTAL #1	2022.10.26
2	BID ADDENDA	2023.03.07
3	ADDENDUM 1	

Drawing Title

**FLOOR PLAN - NEW - PLUMBING**

Consultant Stamp

REGISTERED PROFESSIONAL ENGINEER  
 MECHANICAL  
 STATE OF CALIFORNIA  
 No. M31059  
 EXP. JUNE 30, 2023

File Number	Drawing No
Application Number	<b>P2.1</b>
Project No.	



GENERAL NOTES

- 1. THE COMPLETE ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE, SPECIFICATIONS AND STANDARD, THE LATEST RULES AND REGULATIONS OF THE SAFETY ORDERS ISSUED BY THE DIVISION OF INDUSTRIAL SAFETY, THE NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE STATE AND LOCAL CODES ISSUED BY AUTHORITIES HAVING JURISDICTION.

LEGEND

- CONDUIT AND CONDUCTORS CONCEALS IN WALL OR CEILING
CONDUIT AND WIRES CONCEALED IN FLOOR OR UNDERGROUND
HASH MARK INDICATES (E) ELECTRICAL ITEM TO BE DISCONNECTED AND REMOVED INCLUDING WIRES AND CONDUITS UP TO SOURCE.

ABBREVIATIONS

Table with columns for Abbreviation and Description. Includes entries like A AMP AMPERE, BRKR BREAKER, CBC CALIFORNIA BUILDING CODE, etc.

LIST OF APPLICABLE CODES

- 1. 2019 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR)
2. 2019 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1 & 2 (PART 2, TITLE 24, CCR)
3. 2019 CALIFORNIA ELECTRICAL CODE (PART 3, TITLE 24, CCR)

DRAWING INDEX

- E0.01 GENERAL NOTES, LEGEND, ABBREVIATIONS AND DRAWING INDEX
E0.02 CERTIFICATE OF COMPLIANCE TITLE 24 - INDOOR LIGHTING
E0.03 CERTIFICATE OF COMPLIANCE TITLE 24 - OUTDOOR LIGHTING

MEP COMPONENT ANCHORAGE NOTES

APPLICABLE CODE 2019 CBC 02/05/2020 REVISED 02/14/2020

MEP COMPONENT ANCHORAGE NOTE

ALL MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS SHALL BE ANCHORED AND INSTALLED PER THE DETAILS ON THE DSA APPROVED CONSTRUCTION DOCUMENTS.

- 1. ALL PERMANENT EQUIPMENT AND COMPONENTS.
2. TEMPORARY OR MOVABLE EQUIPMENT THAT IS PERMANENTLY ATTACHED (E.G. HARD WIRED) TO THE BUILDING UTILITY SERVICES SUCH AS ELECTRICITY, GAS OR WATER.

THE FOLLOWING MECHANICAL AND ELECTRICAL COMPONENTS SHALL BE POSITIVELY ATTACHED TO THE STRUCTURE BUT NEED NOT DEMONSTRATE DESIGN COMPLIANCE WITH THE REFERENCES NOTED ABOVE.

- A. COMPONENTS WEIGHING LESS THAN 400 POUNDS AND HAVING A CENTER OF MASS LOCATED 4 FEET OR LESS ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT.

THE ANCHORAGE OF ALL MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS SHALL BE SUBJECT TO THE APPROVAL OF THE DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE OR STRUCTURAL ENGINEER DELEGATED RESPONSIBILITY AND ACCEPTANCE BY DSA.

PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEM BRACING NOTE

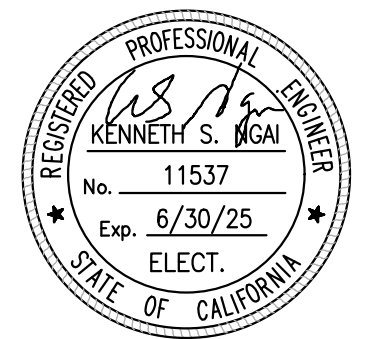
PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS SHALL BE BRACED TO COMPLY WITH THE FORCES AND DISPLACEMENTS PRESCRIBED IN ASCE 7-16 SECTION 13.3 AS DEFINED IN ASCE 7-16 SECTIONS 13.6.5, 13.6.6, 13.6.7, 13.6.8 AND 2019 CBC, SECTIONS 1617A.1.24, 1617A.1.25 AND 1617A.1.26.

THE METHOD OF SHOWING BRACING AND ATTACHMENTS TO THE STRUCTURE FOR THE IDENTIFIED DISTRIBUTION SYSTEM ARE AS NOTED BELOW. WHEN BRACING AND ATTACHMENTS ARE BASED ON A PREAPPROVED INSTALLATION GUIDE (E.G., OSHPD OPM FOR 2013 CBC OR LATER), COPIES OF THE BRACING SYSTEM INSTALLATION GUIDE OR MANUAL SHALL BE AVAILABLE ON THE JOBSITE PRIOR TO THE START OF AND DURING THE HANGING AND BRACING OF THE DISTRIBUTION SYSTEMS.

- MP MD PP E OPTION 1: DETAILED ON THE APPROVED DRAWINGS WITH PROJECT SPECIFIC NOTES AND DETAILS.
MP MD PP E OPTION 2: SHALL COMPLY WITH THE APPLICABLE OSHPD PRE-APPROVAL (OPM #) # \_\_\_\_\_

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PROJECT NO. 175-21-03-2 www.aec-engineers.com

Key Plan

Project Title

SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

SANTA CLARA COUNTY OFFICE OF EDUCATION

Table with columns: No., Description, Date. Includes ISSUED FOR PERMIT (05/03/22) and ADDENDUM 1 (07/18/23).

Drawing Title

GENERAL NOTES, LEGEND, ABBREVIATIONS AND DRAWING INDEX

Architect Seal

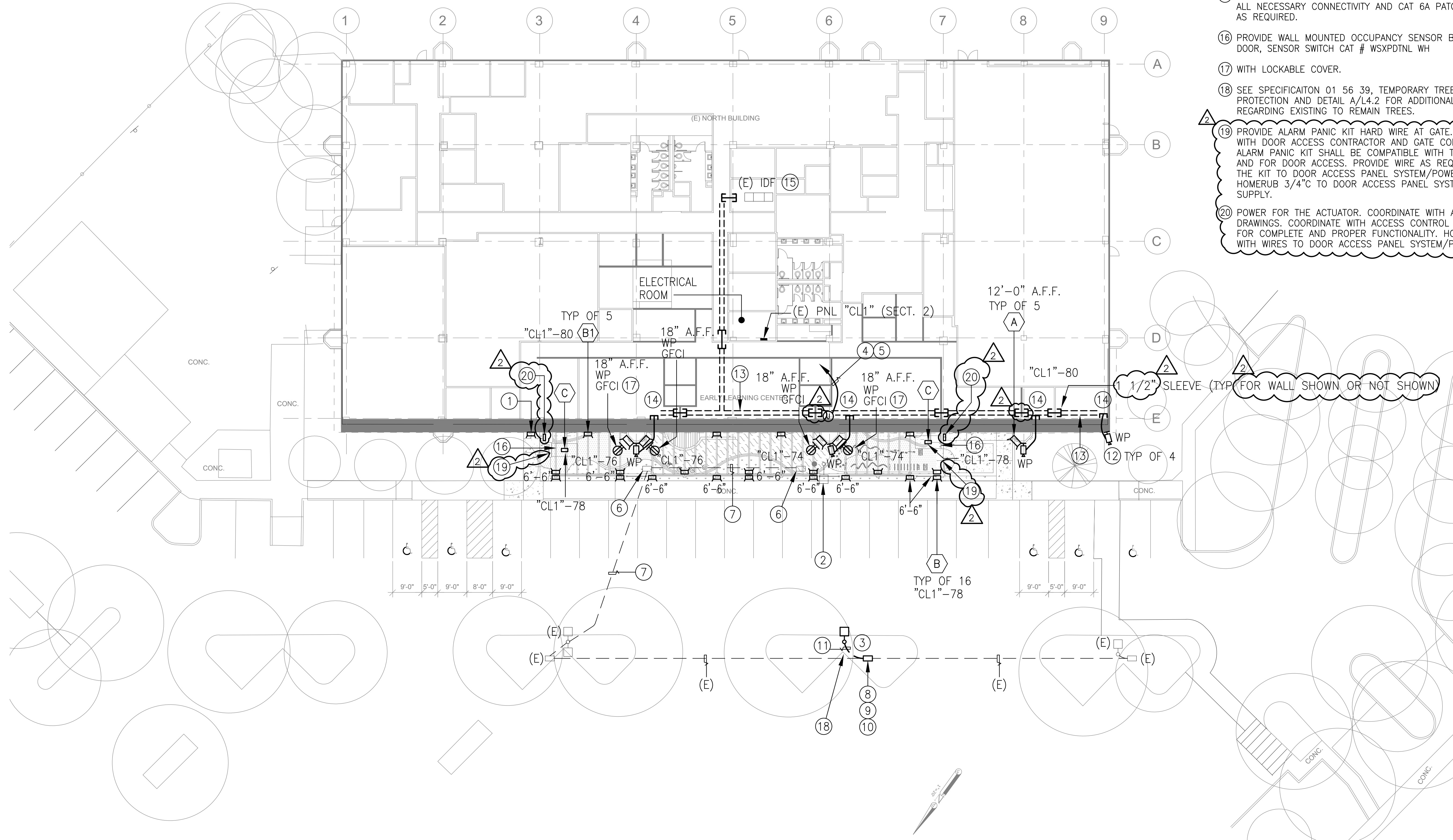
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**GENERAL NOTES:**

1. THE SITE LIGHTING SCOPE OF WORK IS ONLY RELOCATION OF ONE EXISTING PARKING LOT ELECTROLIER.
2. ALL ARCHITECTURAL LIGHTING FIXTURES ARE DOWNWARD. THERE IS NO PRIMARY AND SECONDARY STREETS ON THIS PROJECT. SIDEWALK LIGHTING NEXT TO PARKING AREA PROVIDED; THEREFORE THE PROJECT IS IN COMPLIANCE WITH CITY ARCHITECTURAL LIGHTING STANDARDS.

**SHEET NOTES:**

- 1 REPLACE (E) LIGHT FIXTURE WITH NEW TYPE B1.
- 2 RELOCATE (E) ELECTROLIER TO NEW LOCATION AS INDICATED BY NOTE 3. REMOVE (E) FOUNDATION.
- 3 RELOCATED ELECTROLIER FROM THE LOCATION INDICATED BY 2.
- 4 HOMERUN 3/4"C, 6 #12 & 1 #12 (G) TO (E) PANEL "CL1" (SECTION 2) AND PROVIDE (N) (4) 20A/1P, 120V CIRCUIT BREAKERS IN (E) SPACES. (N) CIRCUIT BREAKER TYPE AND INTERRUPTING RATING SHALL MATCH (E).
- 5 RUN CONDUIT ABOVE CEILING AND PROVIDE CONDUIT SUPPORT AT 10FT INTERVAL MAXIMUM.
- 6 REMOVE AND SALVAGE (E) UNDERGROUND CONCRETE PULLBOX.
- 7 ABANDON (E) CONDUIT AND REMOVE (E) WIRES.
- 8 INSTALL (N) PULLBOX IN (E) CONDUIT RUN, TRACK AND SURVEY (E) CONDUIT RUN.
- 9 SPLICE (N) WIRES INTO (E). EXTEND (N) CONDUIT AND WIRES TO RELOCATED ELECTROLIER.
- 10 INSTALL (N) PULLBOX SIMILAR TO CHRISTY CAT #B1017 WITH 12" EXTENSION. COVER SHALL BE ENGRAVED "LIGHTING".
- 11 TRENCH, BACKFILL, COMPACT AND PATCH TO MATCH (E).
- 12 PROVIDE (N) SECURITY CAMERA PER DISTRICT STANDARD
- 13 PROVIDE 3" J-HOOKS ABOVE CEILING AT EVEN 4FT ON CENTER AND INSTALL CAT 6A EACH CAMERA TO (E) IDF.
- 14 STUB-OUT CONDUIT NEAR J-HOOKS.
- 15 PROVIDE 48 PORT MODMAR PATCH PANEL AND PROVIDE ALL NECESSARY CONNECTIVITY AND CAT 6A PATCH CORD AS REQUIRED.
- 16 PROVIDE WALL MOUNTED OCCUPANCY SENSOR BY THE STORAGE DOOR, SENSOR SWITCH CAT # WSXPDTNL WH
- 17 WITH LOCKABLE COVER.
- 18 SEE SPECIFICATION 01 56 39, TEMPORARY TREE AND PLANT PROTECTION AND DETAIL A/L4.2 FOR ADDITIONAL INFORMATION REGARDING EXISTING TO REMAIN TREES.
- 19 PROVIDE ALARM PANIC KIT HARD WIRE AT GATE. COORDINATE WITH DOOR ACCESS CONTRACTOR AND GATE CONTRACTOR, ALARM PANIC KIT SHALL BE COMPATIBLE WITH THE HARDWARE AND FOR DOOR ACCESS. PROVIDE WIRE AS REQUIRED FROM THE KIT TO DOOR ACCESS PANEL SYSTEM/POWER SUPPLY, HOMERUN 3/4"C TO DOOR ACCESS PANEL SYSTEM/POWER SUPPLY.
- 20 POWER FOR THE ACTUATOR. COORDINATE WITH ARCHITECTURAL DRAWINGS. COORDINATE WITH ACCESS CONTROL CONTRACTOR FOR COMPLETE AND PROPER FUNCTIONALITY. HOMERUN 3/4"C WITH WIRES TO DOOR ACCESS PANEL SYSTEM/POWER SUPPLY.



**1 ELECTRICAL PARTIAL SITE PLAN**  
SCALE: 1" = 20'-0"

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PROJECT NO. 175-21-03-2 www.aec-engineers.com

**Key Plan**

**Project Title**

**SCCOE EARLY LEARNING CENTER**

1290 Ridder Park Dr, San Jose

**SANTA CLARA COUNTY OFFICE OF EDUCATION**

No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
△	ADDENDUM 1	07/18/23

**Drawing Title**

**ELECTRICAL PARTIAL SITE PLAN**

**Architect Seal**

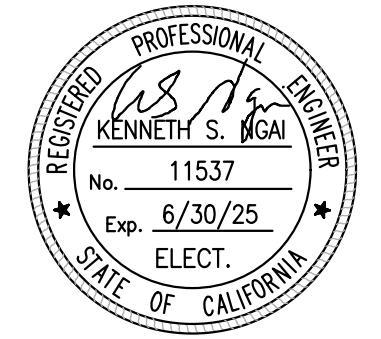
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<b>Application No.</b>	
<b>Date</b> 12/10/21	
<b>Project Number</b> 06401	

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XREFS: 36x24\_BORDER.dwg A1-13.dwg

**SHEET NOTES:**

- 1 ALL LIGHT FIXTURES AND SWITCHES SHOWN SHALL BE DISCONNECTED AND REMOVED INCLUDING CONDUIT AND WIRES UP TO EXISTING BUS BAR OR TO NEXT JUNCTION BOX.
- 2 SECURELY REMOVE AND PROTECT LIGHT AND RETURN TO THE OWNER.

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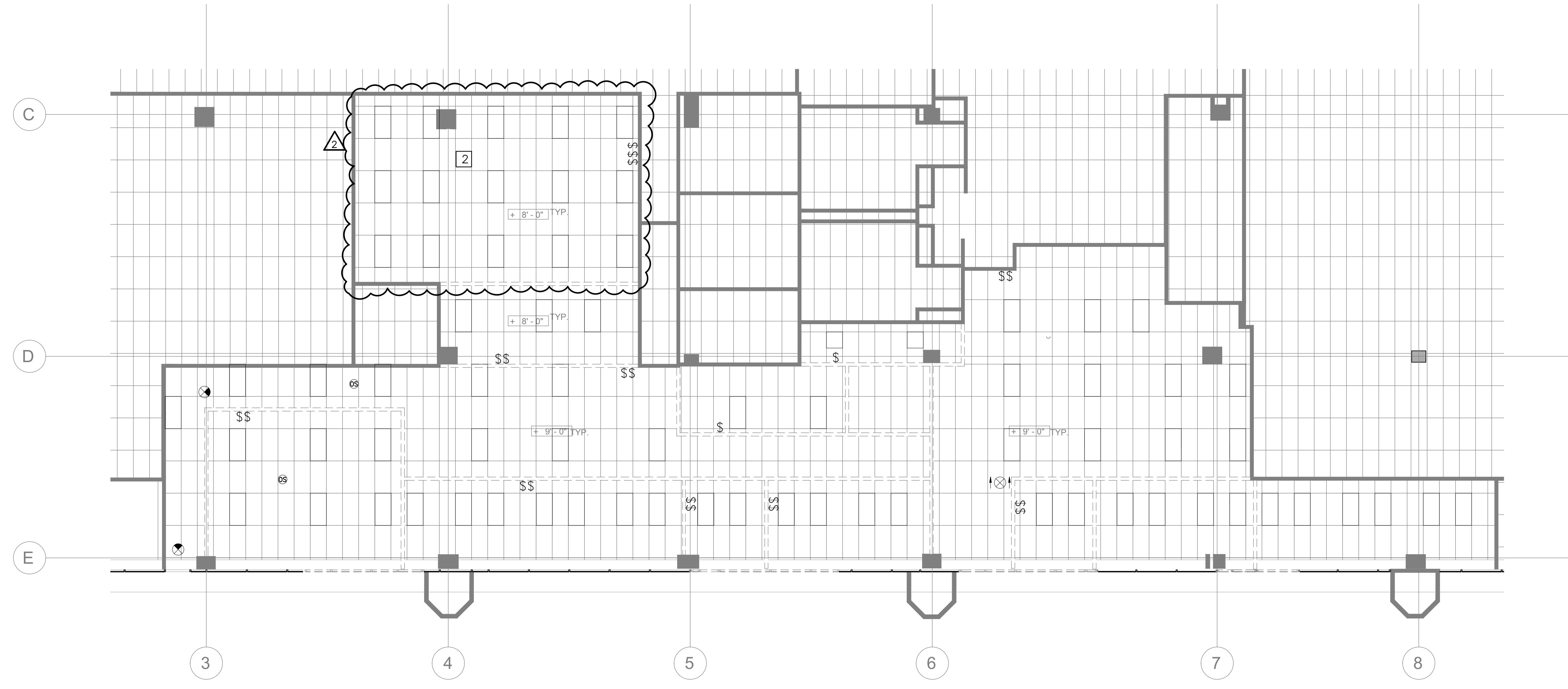
No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
△	ADDENDUM 1	07/18/23

**Drawing Title**

**LIGHTING DEMOLITION PLAN**

**Architect Seal**

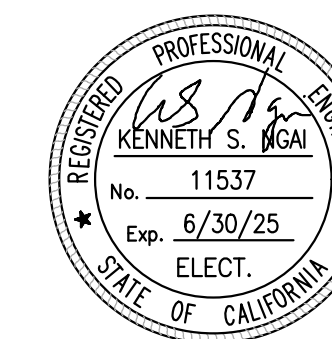
<b>File No.</b> SP21-032	<b>Drawing No.</b> <b>E2.01</b>
<b>Application No.</b>	
<b>Date</b> 12/10/21	
<b>Project Number</b> 06401	



**1 LIGHTING DEMOLITION PLAN 1**  
SCALE: 1/8" = 1'-0"

FILE: M:\175-21-03-2early learning\03E20.dwg, Jan 11, 2022, 5:33 pm, Scale: 1/8" = 1'-0"  
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Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

### SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
△	ADDENDUM 1	07/18/23

Drawing Title

## ELECTRICAL DEMOLITION PLAN

Architect Seal

File No. SP21-032

Application No.

Date 12/10/21

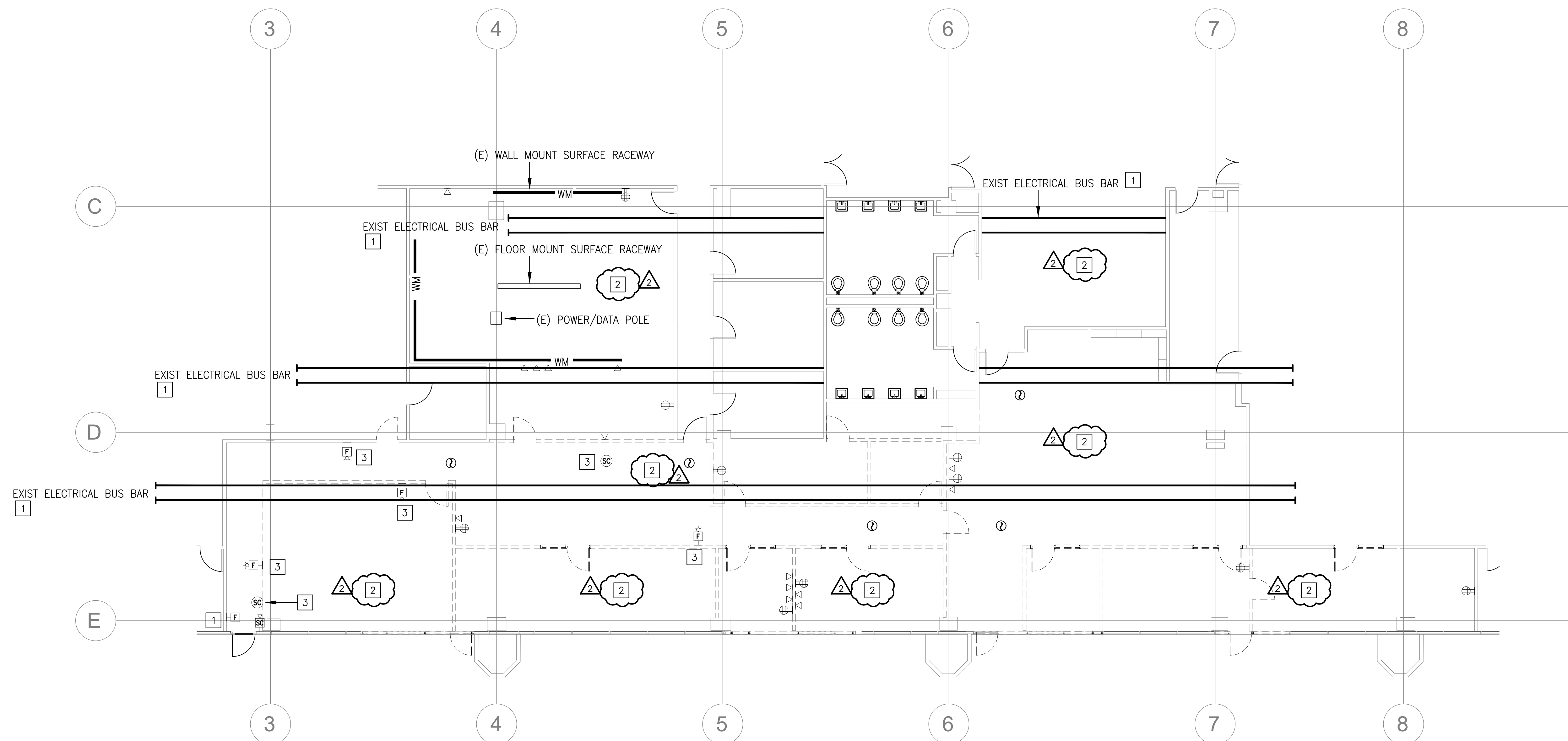
Project Number 06401

Drawing No.

# E2.02

### SHEET NOTES:

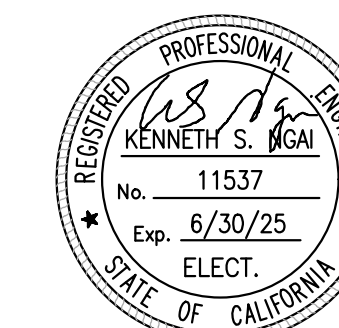
- 1 ELECTRICAL ITEM TO REMAIN. MAINTAIN CIRCUIT CONTINUITY.
- 2 ALL ELECTRICAL ITEMS INCLUDING WIRES AND CONDUIT SHALL BE DISCONNECTED AND REMOVE UP TO SOURCE OR TO THE NEXT JUNCTION BOX OR TO THE (E) ELECTRICAL BUS BAR U.O.N..
- 3 RELOCATE (E) ELECTRICAL ITEM TO (N) LOCATION. SEE SHEET E3.03 FOR (N) LOCATION.



1 ELECTRICAL DEMOLITION PLAN 2  
 SCALE: 1/8" = 1'-0"

FILE: M:\175-21-03-2early learning\03E201.dwg Jan 11, 2022 9:14 pm Scale: 1/8" = 1'-0"  
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Key Plan

Project Title

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

### SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
△	ADDENDUM 1	07/18/23

Drawing Title

### LIGHTING PLAN FIRST FLOOR

Architect Seal

File No.	SP21-032
Application No.	
Date	12/10/21
Project Number	06401

Drawing No.

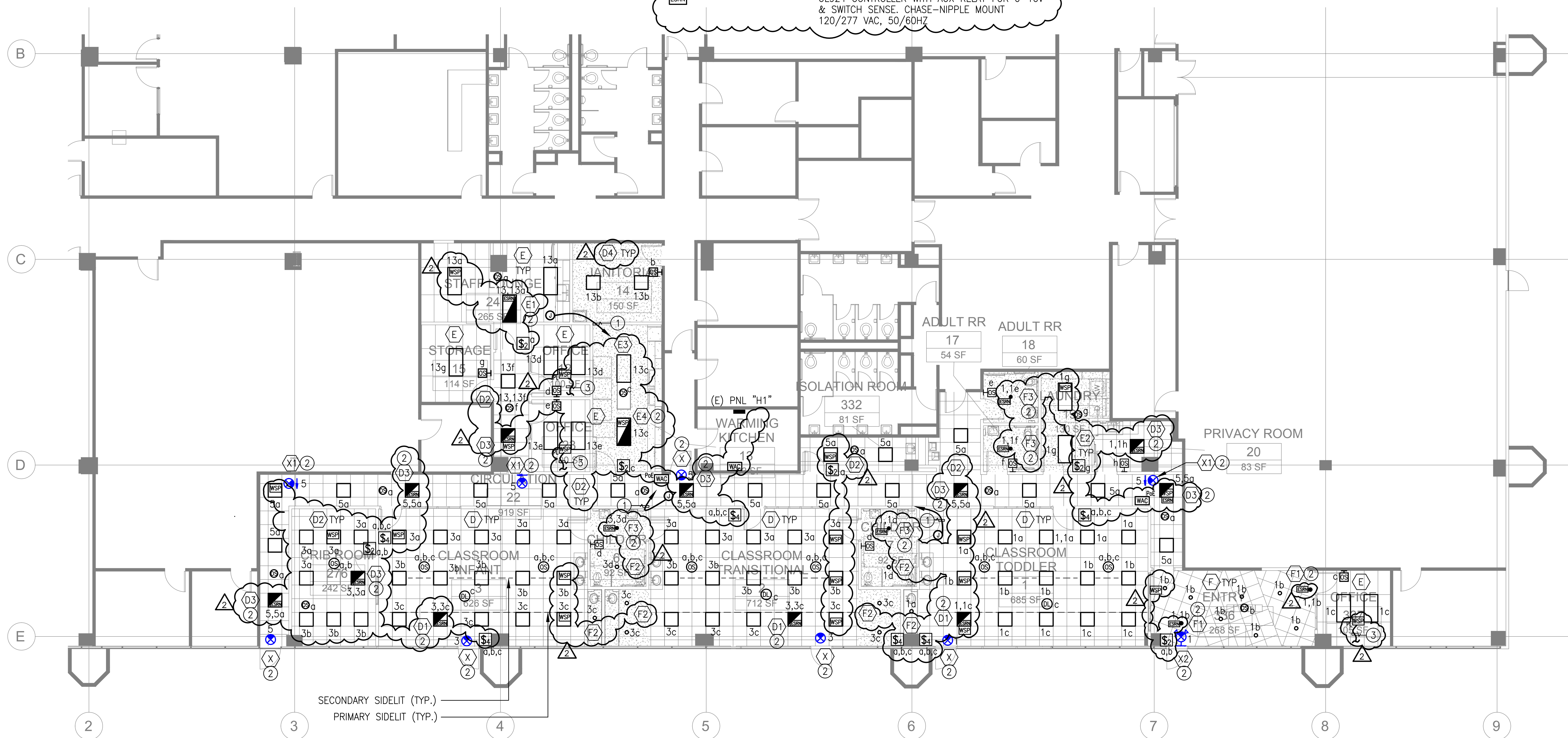
# E3.01

### LEGEND

△	CS	CWPD-1500	PIR CEILING OCCUPANCY SENSOR, 360° 1500 SQFT COVERAGE
△	DL	CWPD-1500	PIR CEILING DAYLIGHT SENSOR, 360° 1500 SQFT COVERAGE
□	A	ONW-D-1001-DMV	WALL SWITCH OS - DUAL
□	2	W2L-RL-S2-W	2-BUTTON LARGE RAISE/LOWER PRE-PROGRAMMED/FIELD PROGRAMMABLE
□	4	W4S-RL-S4-W	4-BUTTON LARGE RAISE/LOWER PRE-PROGRAMMED/FIELD PROGRAMMABLE
□	WAC	WAC-POE	WIRELESS AREA CONTROLLER (PoE POWERED)
□	WAC	WAC	WIRELESS AREA CONTROLLER
□	WSP	RSP-P-010-347	WIRELESS SWITCHPACK WITH 20A RELAY AND 0-10V
□	WSP	RSP-P-347	WIRELESS SWITCHPACK WITH 20A RELAY
□	ESRN	-	UL924 CONTROLLER WITH AUX RELAY FOR 0-10V & SWITCH SENSE. CHASE-NIPPLE MOUNT 120/277 VAC, 50/60HZ

### SHEET NOTES:

- HOMERUN 3/4" C FLEXIBLE, METALLIC CONDUIT TO (E) WIRING DUCTS SHOWN ON SHEET E3.02. PROVIDE (N) MALE OUTLET PLUG COMPATIBLE TO (E) OUTLET IN (E) WIRING DUCT, FIELD VERIFY.
- PROVIDE UNSWITCHED HOT WIRE TO EMERGENCY BATTERY PACK.
- CONNECT 120V LINE VOLTAGE CIRCUIT TO CONTROLLED RECEPTACLE IN THIS ROOM, SEE DWG. E3.02



1 LIGHTING PLAN - FIRST FLOOR  
 SCALE: 1/8" = 1'-0"

FILE: M:\175-21-03-2\early\_learning\032101.dwg Mar 08, 2022 2:36 pm Scale: 1/8"  
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**GENERAL NOTES:**

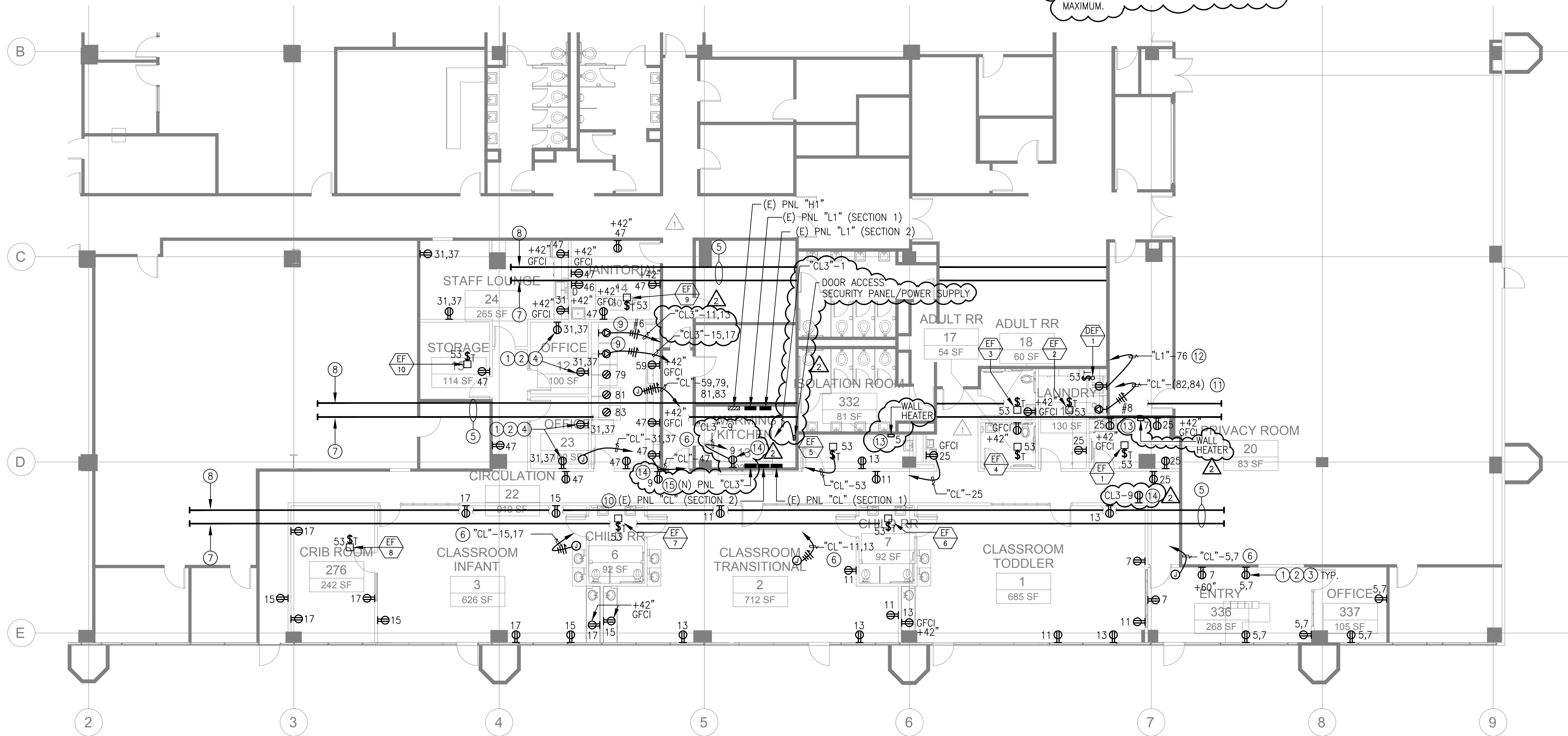
1. ALL SINGLE-PHASE RATED 150 VOLTS TO GROUND OR LESS, 50 AMPERES OR LESS AND THREE PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 100 AMPERES OR LESS INSTALLED IN ALL AREAS DESCRIBED 210.8(B) OF THE CEC (OTHER THAN DWELLING UNITS) MUST BE GFCI PROTECTED AND GFCI'S MUST BE READILY ACCESSIBLE (TYPICAL).
2. ALL RECEPTACLES IN EDUCATIONAL AREA SHALL BE TAMPER-RESISTANT IN ACCORDANCE WITH CEC 406.12 AND 406.4(5).

**SHEET NOTES:**

- 1 RECEPTACLE SHALL BE SPLIT WIRED WITH ONE CONTROLLED AND ONE UNCONTROLLED RECEPTACLE. PROVIDE A PERMANENT MARKING TO DIFFERENTIATE CONTROLLED FROM UNCONTROLLED RECEPTACLE.
- 2 CIRCUIT SERVING CONTROLLED RECEPTACLE SHALL BE CONNECTED TO OCCUPANCY SENSOR FOR AUTOMATIC SHUTDOWN.
- 3 RECEPTACLE CONNECTED TO CIRCUIT #5 SHALL BE MARKED "CONTROLLED RECEPTACLE".  
⚠️ (COOPER WR-20)
- 4 RECEPTACLE CONNECTED TO CIRCUIT #37 SHALL BE MARKED "CONTROLLED RECEPTACLE".  
⚠️ (COOPER WR-20)
- 5 UTILIZE (E) CIRCUITS ON THIS (E) WIRING DUCTS.
- 6 HOMERUN (2) 3/4" C FLEXIBLE CONDUIT TO (E) WIRING DUCTS, PROVIDE (N) MALE OUTLET PLUG COMPATIBLE TO (E) OUTLET IN (E) WIRING DUCTS, FIELD VERIFY.

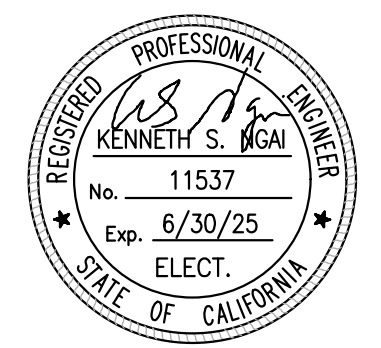
- 7 (E) ELECTRICAL WIRING DUCT, 120V WITH (E) CIRCUITS FOR RECEPTACLES CONNECTED TO (E) PANEL "CL" TO REMAIN.
- 8 (E) ELECTRICAL WIRING DUCT, 277V WITH (E) CIRCUITS FOR LIGHTINGS CONNECTED TO (E) PANEL "H1" TO REMAIN.
- 9 COORDINATE WITH THE DISTRICT FOR COMPATIBILITY MALE PLUG PRIOR TO PURCHASING/ROUGH-IN.
- 10 PROVIDE (N) (2) 50A/2P, (4) 20A/1P IN (E) SPACES OF (E) PANEL "CL". (N) CIRCUIT BREAKER TYPE AND INTERRUPTING RATING SHALL MATCH (E).
- 11 PROVIDE (N) 40A/2P IN (E) SPACES OF (E) PANEL "CL". (N) CIRCUIT BREAKER TYPE AND INTERRUPTING RATING SHALL MATCH (E).
- 12 PROVIDE (N) 20A/1P IN (E) SPACE OF (E) PANEL "L1". (N) CIRCUIT BREAKER TYPE AND INTERRUPTING RATING SHALL MATCH (E).
- 13 HOMERUN 3/4" C, 3 #12 TO (N) PANEL "CL3". PROVIDE CONDUIT SUPPORTS AT 10FT. INTERVAL MAXIMUM.

- 14 POWER CONNECTION FOR WIRELESS AREA CONTROLLER
- 15 PROVIDE 1 1/2" C, 4 #2 & 1 #8 TO PANEL "CL" (SECTION 2). (N) PANEL EXACT LOCATION SHALL BE COORDINATED WITH THE DISTRICT PRIOR TO ROUGH-IN. SEE DETAIL 1 ON SHEET E-503.



**1 POWER PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"

**CONSULTANT'S STAMP**



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**Key Plan**

**Project Title**

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No.	Description	Date
⚠️	ISSUED FOR PERMIT	05/03/22
⚠️	ADDENDUM 1	07/18/23

**Drawing Title**

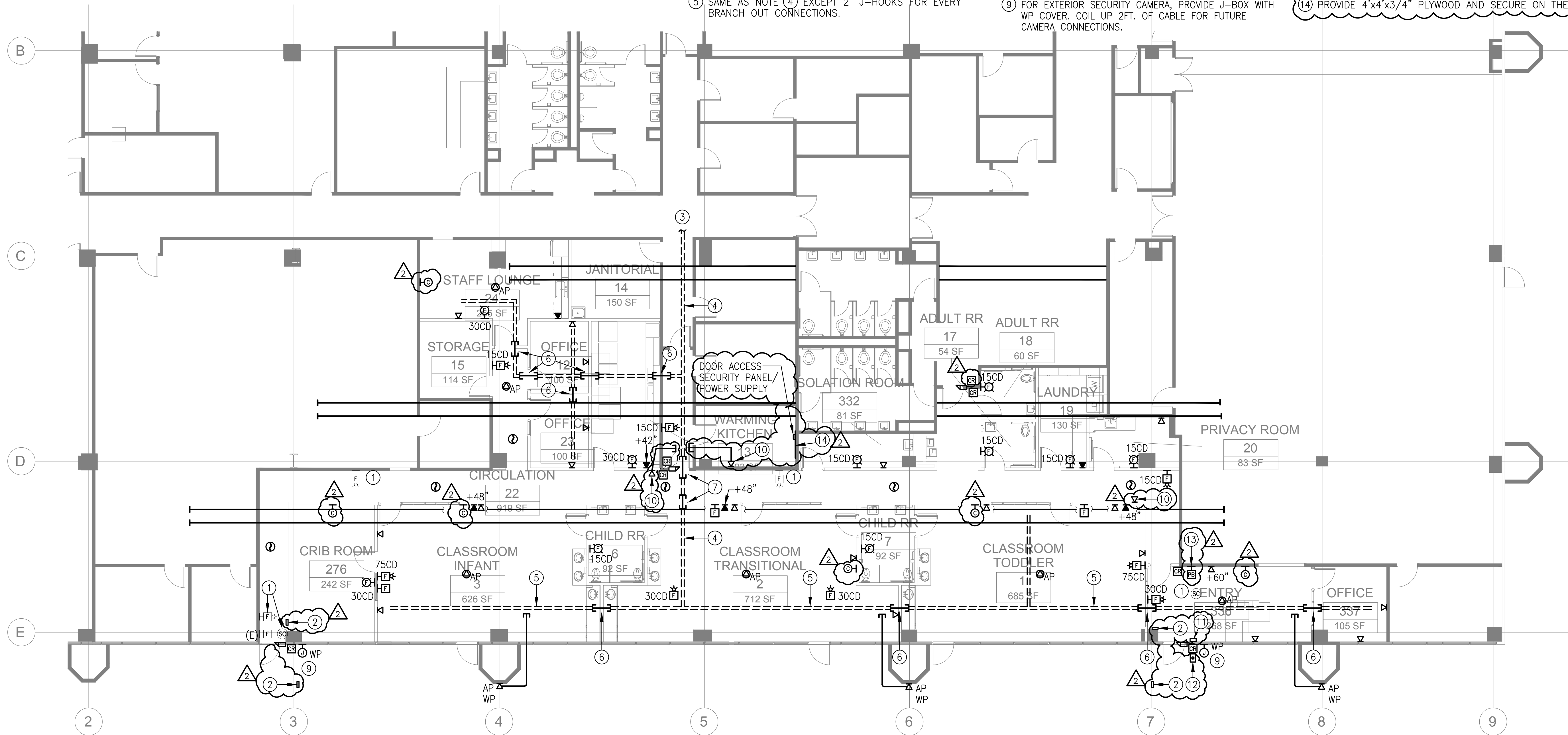
**POWER PLAN FIRST FLOOR**

**Architect Seal**

<b>File No.</b> SP21-032	<b>Drawing No.</b> <b>E3.02</b>
<b>Application No.</b>	
<b>Date</b> 12/10/21	
<b>Project Number</b> 06401	

**SHEET NOTES:**

- ① RELOCATED (E) ELECTRICAL ITEM AS PER SHEET NOTE ③ ON SHEET E2.02.
- ② PROVIDE POWER FOR THE ACTUATOR. COORDINATE WITH ARCHITECTURAL DRAWINGS. COORDINATE WITH ACCESS CONTROL CONTRACTOR FOR PROPER FUNCTIONALITY.
- ③ SEE E3.04 FOR CONTINUATION.
- ④ PROVIDE 4" J-HOOKS FOR LOW VOLTAGE CABLE SUPPORTS ALONG DOUBLE BROKEN LINES. PROVIDE HOOK AND LOOP CABLE TIES AT EVERY 3 FT.
- ⑤ SAME AS NOTE ④ EXCEPT 2" J-HOOKS FOR EVERY BRANCH OUT CONNECTIONS.
- ⑥ 2" CONDUIT SLEEVE
- ⑦ (2) 2" CONDUIT SLEEVE
- ⑧ ALL FIRE ALARM DEVICES SHALL BE WIRED IN A CONDUIT ABOVE CEILING AND FLUSHED ON THE WALL. PROVIDE 2 #14, FPL CABLES FOR NOTIFICATION DEVICES AND 2 #16 FPL CABLE FOR INITIATING DEVICES AND CONNECT TO NEAREST FA DEVICES. REPROGRAM (E) FIRE ALARM CONTROL PANEL DURING CONSTRUCTION AND AFTER COMPLETION OF WORK ON THIS (N) LEARNING CENTER AREA.
- ⑨ FOR EXTERIOR SECURITY CAMERA, PROVIDE J-BOX WITH WP COVER. COIL UP 2FT. OF CABLE FOR FUTURE CAMERA CONNECTIONS.
- ⑩ DATA OUTLET FOR LIGHTING WIRELESS AREA CONTROL COORDINATE WITH LIGHTING CONTRACTOR.
- ⑪ DOOR BUZZER (WIRED) (VIKING SR-1) PLUG TO THE NEAREST RECEPTACLE.
- ⑫ DOOR BELL BUTTON PANEL (VIKING DB-40).
- ⑬ PROVIDE PUSH BUTTON FOR DOOR OPENING. WIRE PUSH BUTTON TO DOOR ACCESS SYSTEM AND CONNECT SO THAT IT CAN RELEASE THE DOOR STRIKE UPON DOOR BELL RINGS.
- ⑭ PROVIDE 4"x4"x3/4" PLYWOOD AND SECURE ON THE WALL.

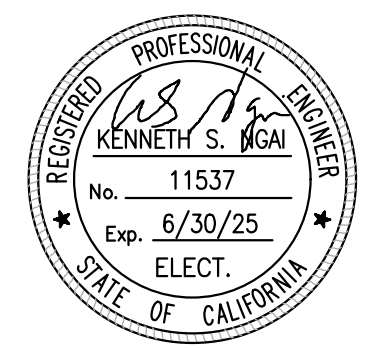


① SIGNAL AND FIRE ALARM PLAN – FIRST FLOOR ⑧  
SCALE: 1/8" = 1'-0"



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phone (408) 970-9888 fax (408) 970-9316  
PROJECT NO. 175-21-03-2 www.aec-engineers.com

**Key Plan**

**Project Title**

**SCCOE EARLY LEARNING CENTER**

1290 Ridder Park Dr, San Jose

**SANTA CLARA COUNTY OFFICE OF EDUCATION**

No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
△	ADDENDUM 1	07/18/23

**Drawing Title**

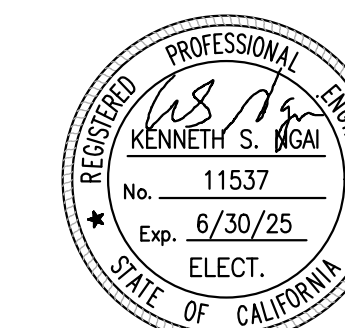
**SIGNAL AND FIRE ALARM PLAN FIRST FLOOR**

**Architect Seal**

<b>File No.</b> SP21-032	<b>Drawing No.</b> <b>E3.03</b>
<b>Application No.</b>	
<b>Date</b> 12/10/21	
<b>Project Number</b> 06401	

FILE: M:\V75-21-03-2\early learning\0321.dwg Jan 11, 2022 5:29 pm Scale: 1=1 by DIEU XREFS: X-11-13.dwg 06401 - SCCOE RIDDER PARK KEEP-CAD BACKGROUNDS-OPTION 1\_20211210.dwg

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**Key Plan**

**Project Title**

## SCCOE EARLY LEARNING CENTER

1290 Ridder Park Dr, San Jose

### SANTA CLARA COUNTY OFFICE OF EDUCATION

No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
△	ADDENDUM 1	07/18/23

**Drawing Title**

### ELECTRICAL OVERALL PLAN FIRST FLOOR

**Architect Seal**

**File No.** SP21-032  
**Application No.**  
**Date** 12/10/21  
**Project Number** 06401

**Drawing No.**

# E3.04

**GENERAL NOTE:**

REMOVE ALL (E) LOW VOLTAGE CABLES THAT ARE OBSOLETE AND NO LONGER IN SERVICE. COORDINATE WITH THE DISTRICT FOR EXACT DIRECTION OF (E) CABLES THAT WILL BE REMOVED, FIELD VERIFY.

**SHEET NOTES:**

① SEE E2.01, E2.02, E3.01, E3.02 AND E3.03 FOR WORK REQUIREMENT.

② NOT USED

③ NOT USED

④ PROVIDE 4" J-HOOKS FOR LOW VOLTAGE CABLE SUPPORTS ALONG DOUBLE BROKEN LINES. PROVIDE HOOK AND LOOP CABLE TIES AT EVERY 3 FT.

⑤ NOT USED

⑥ (4) 3" CONDUIT SLEEVES.

⑦ NOT USED

⑧ NOT USED

⑨ NOT USED

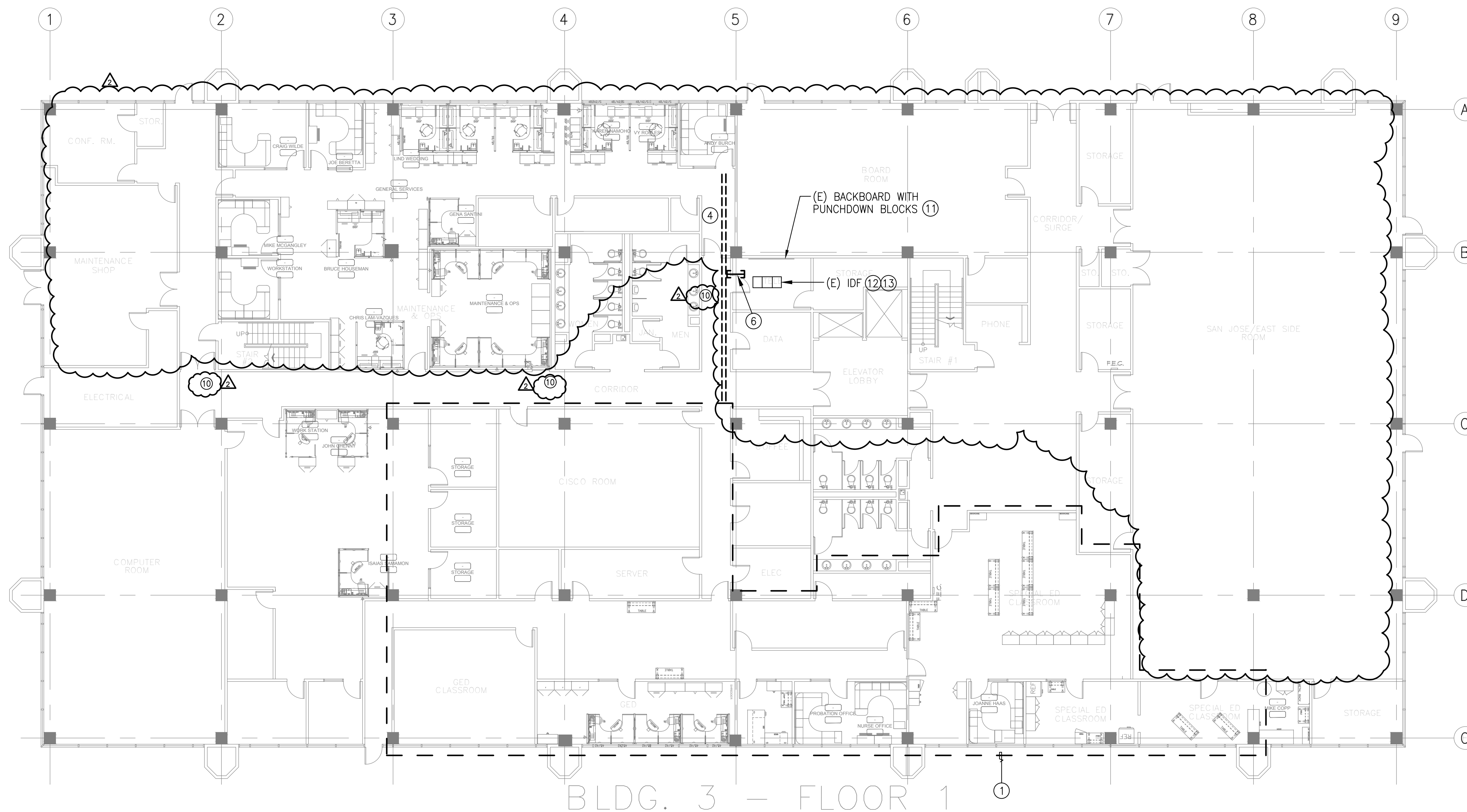
⑩ SEPARATE WIRES INTO BUNDLES OF 1" MAX DIAMETER SPACED AT A MINIMUM OF 12" APART.

⑪ REMOVE ALL (E) LOW VOLTAGE CABLES THAT ARE OBSOLETE AND NO LONGER IN SERVICE FROM THIS PUNCHDOWN BLOCK UP TO DOWNSTREAM AND UPSTREAM. COORDINATE WITH THE DISTRICT IT FOR EXACT DIRECTION OF (E) CABLES TO BE REMOVED.

⑫ INSTALL (N) 2-48 PORTS MODULAR PATCH PANELS. CAT 6 & CAT 6A PATCH CORDS AS REQUIRED, 2-2u CABLE MANAGERS, CAT 6 & 6A DATA JACKS AT EACH END OF DATA CABLES AND ALL OTHER NECESSARY CONNECTIVITIES FOR A COMPLETE DATA NETWORK INSTALLATIONS. PoE'S WILL BE PROVIDED BY THE DISTRICT.

⑬ REMOVE ALL (E) LOW VOLTAGE CABLES THAT ARE NO LONGER IN SERVICE AND ALL CABLES THAT ARE PART OF THE DEMO WORKS IN THE (N) WORK AREA. REMOVE ALL PATCH PANELS, PATCH CORDS AND ALL OTHER CABLES THAT ARE NO LONGER IN SERVICE.

TO SOUTH BUILDING

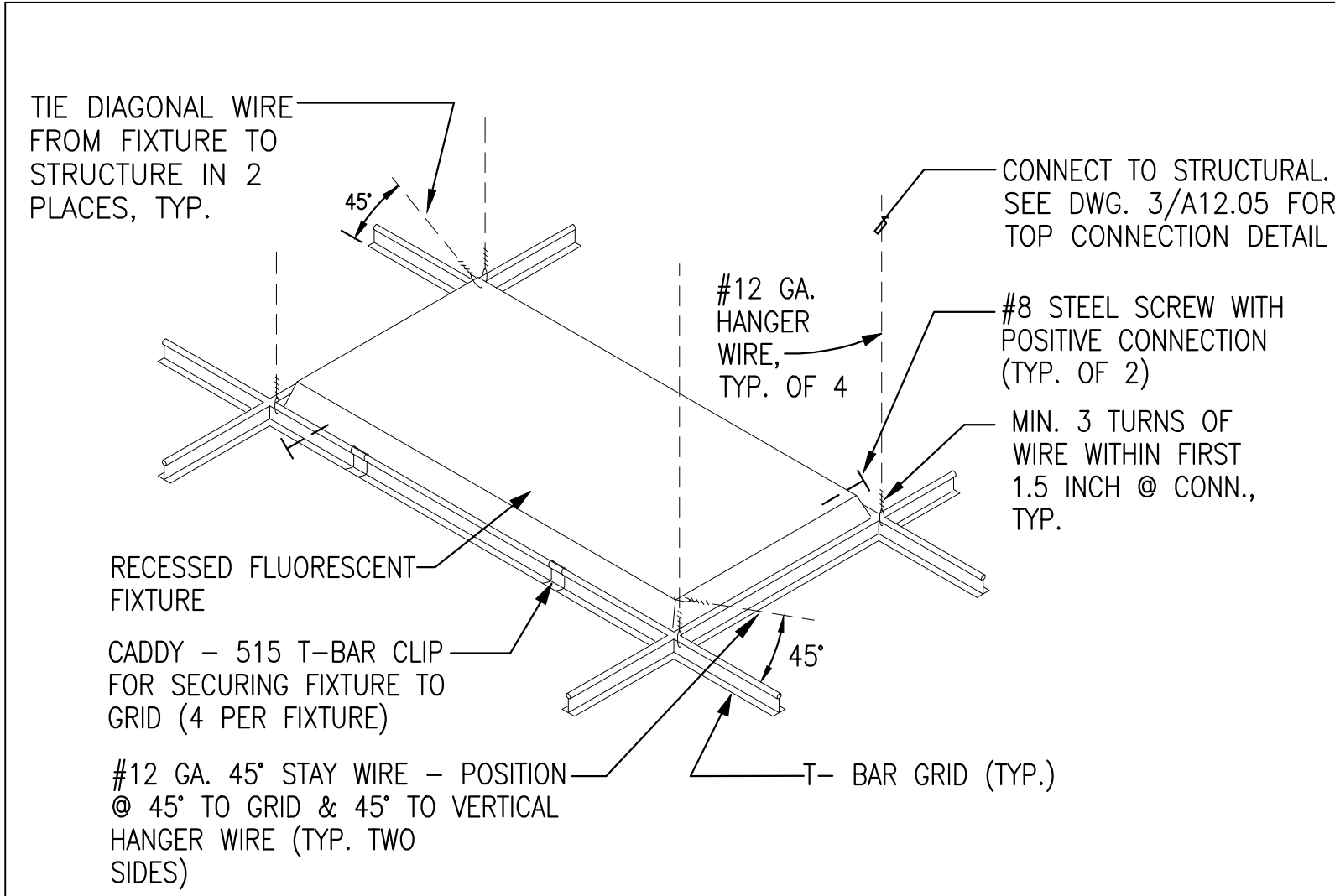


**1** ELECTRICAL OVERALL PLAN - FIRST FLOOR **89**  
SCALE: 3/32" = 1'-0"

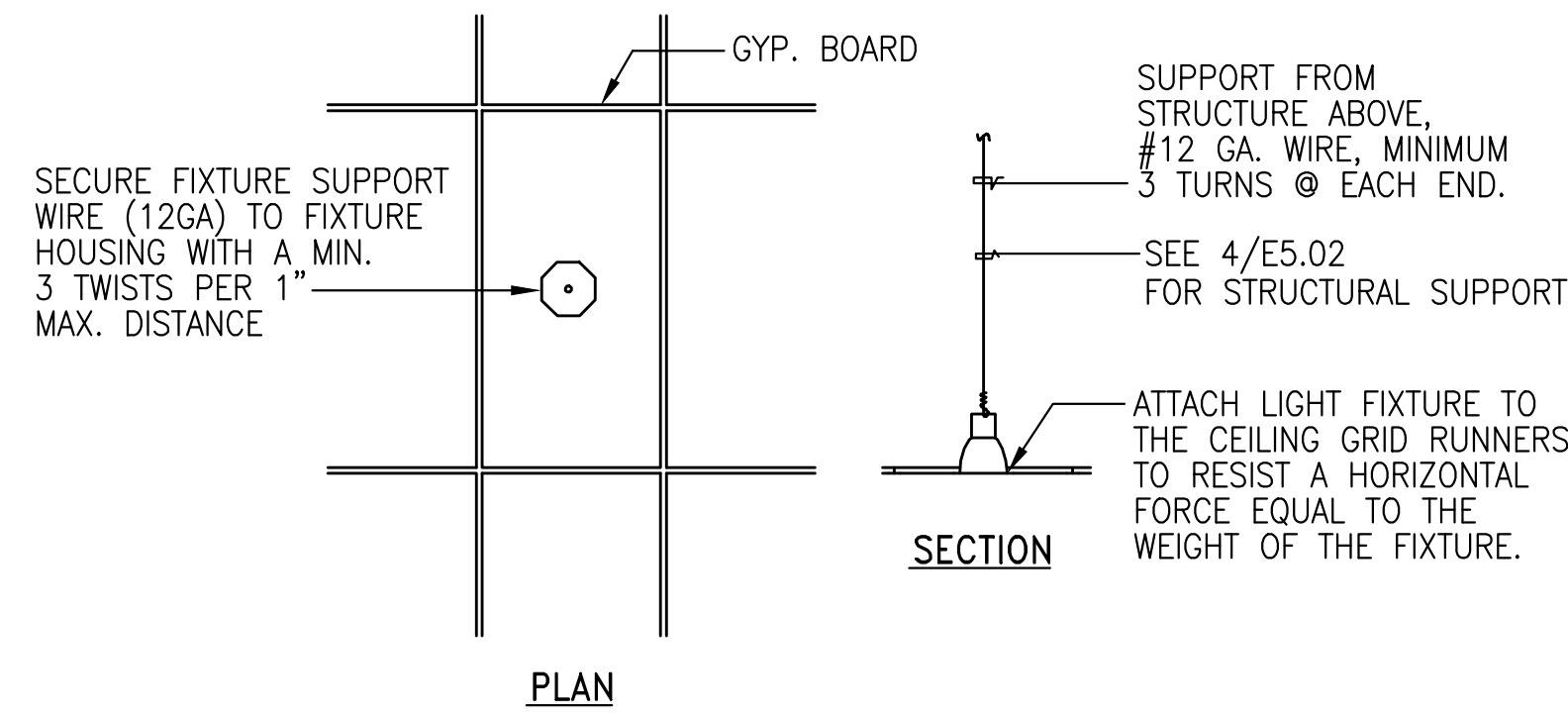
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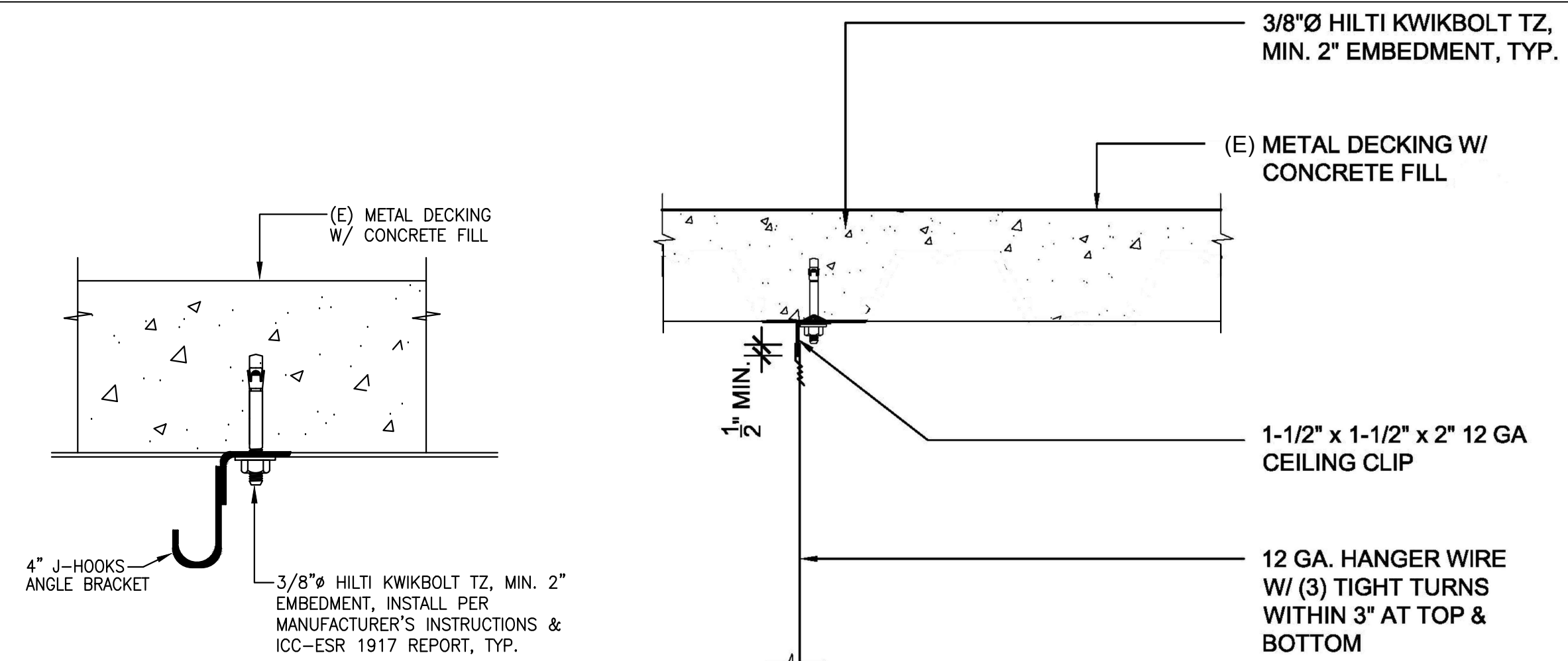




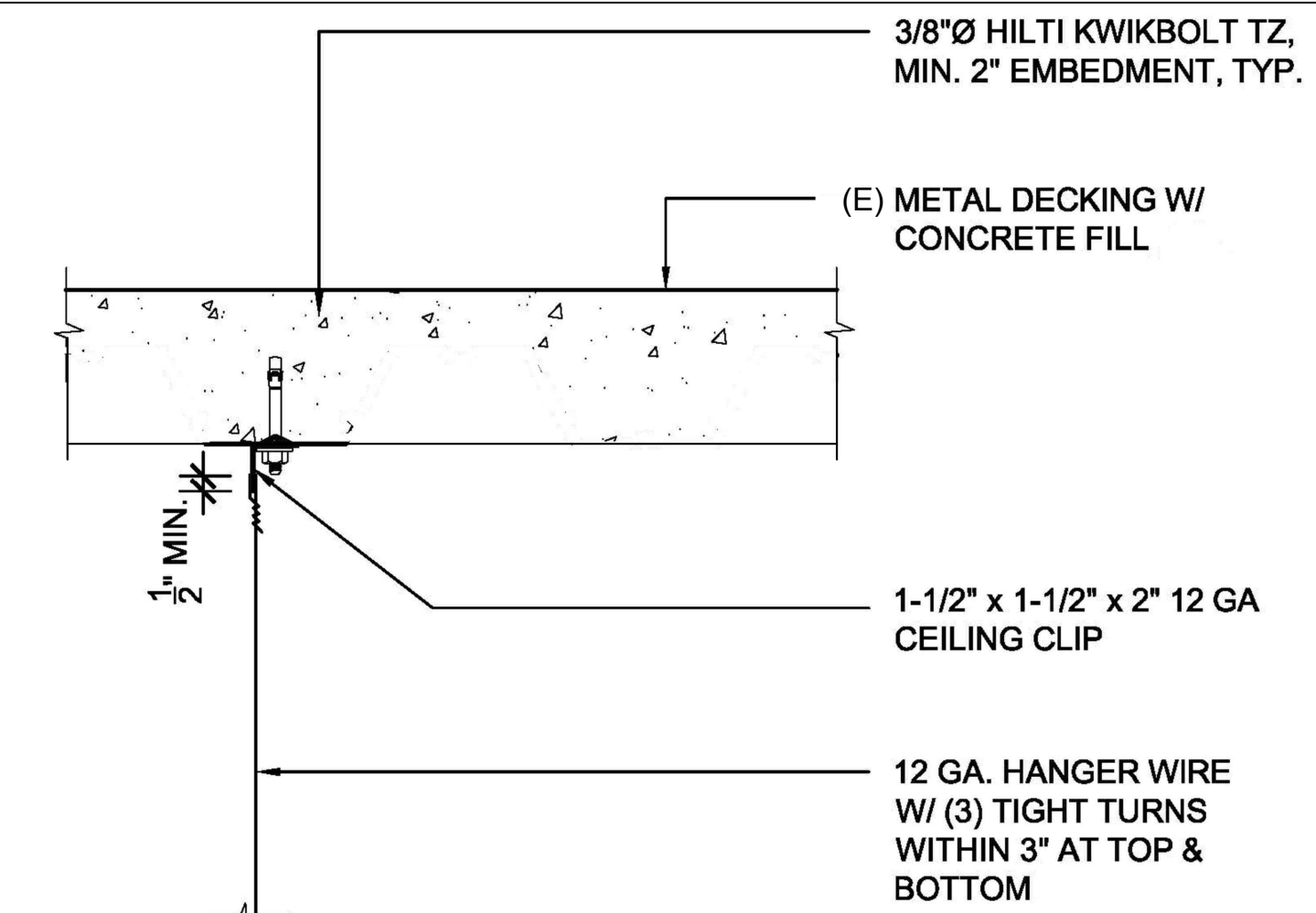
**1** TYPICAL SUPPORT REQUIREMENTS FOR RECESSED LIGHT FIXTURES  
NOT TO SCALE



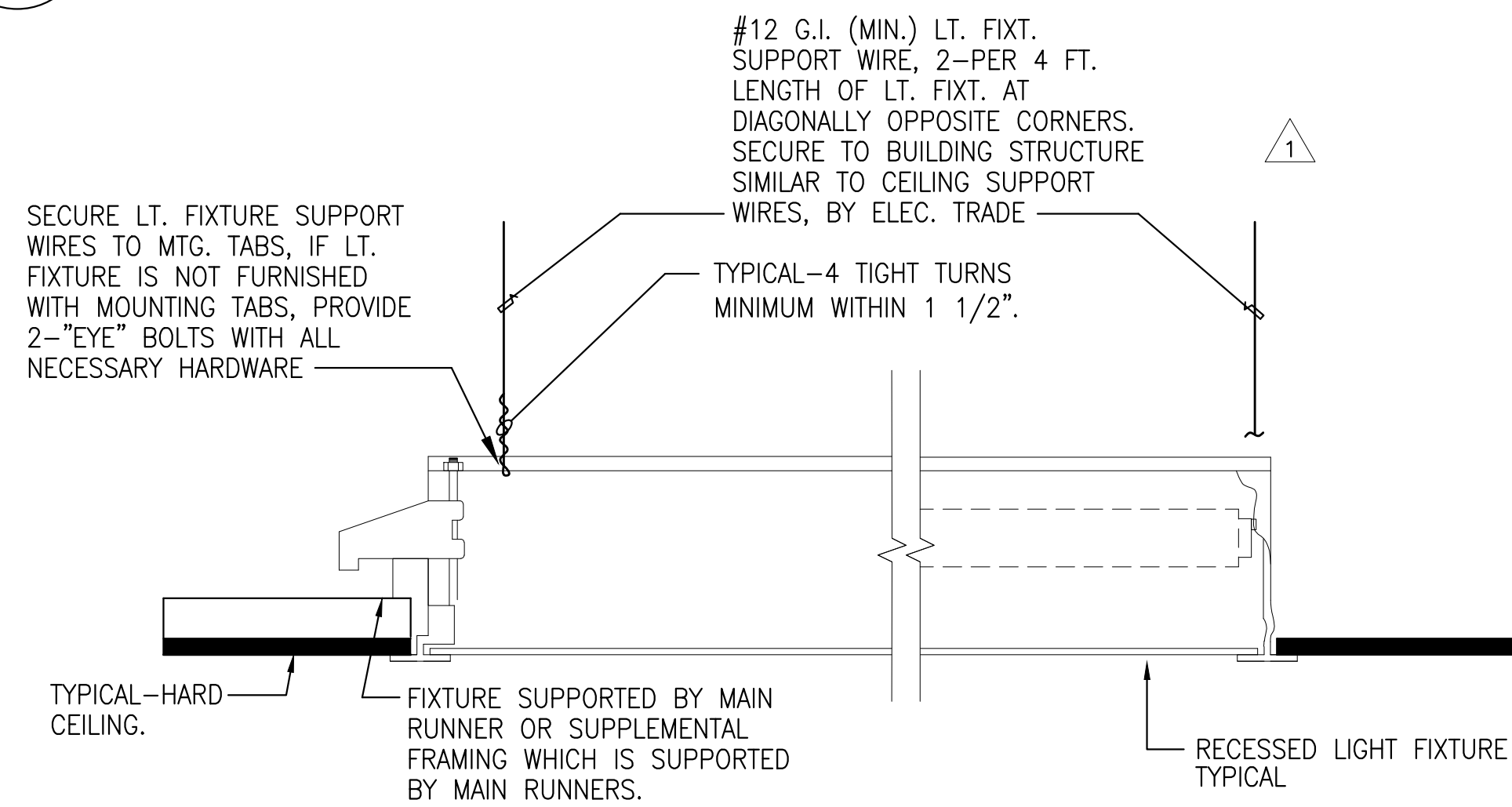
**2** RECESSED DOWNLIGHT FIXTURE DETAIL  
NOT TO SCALE



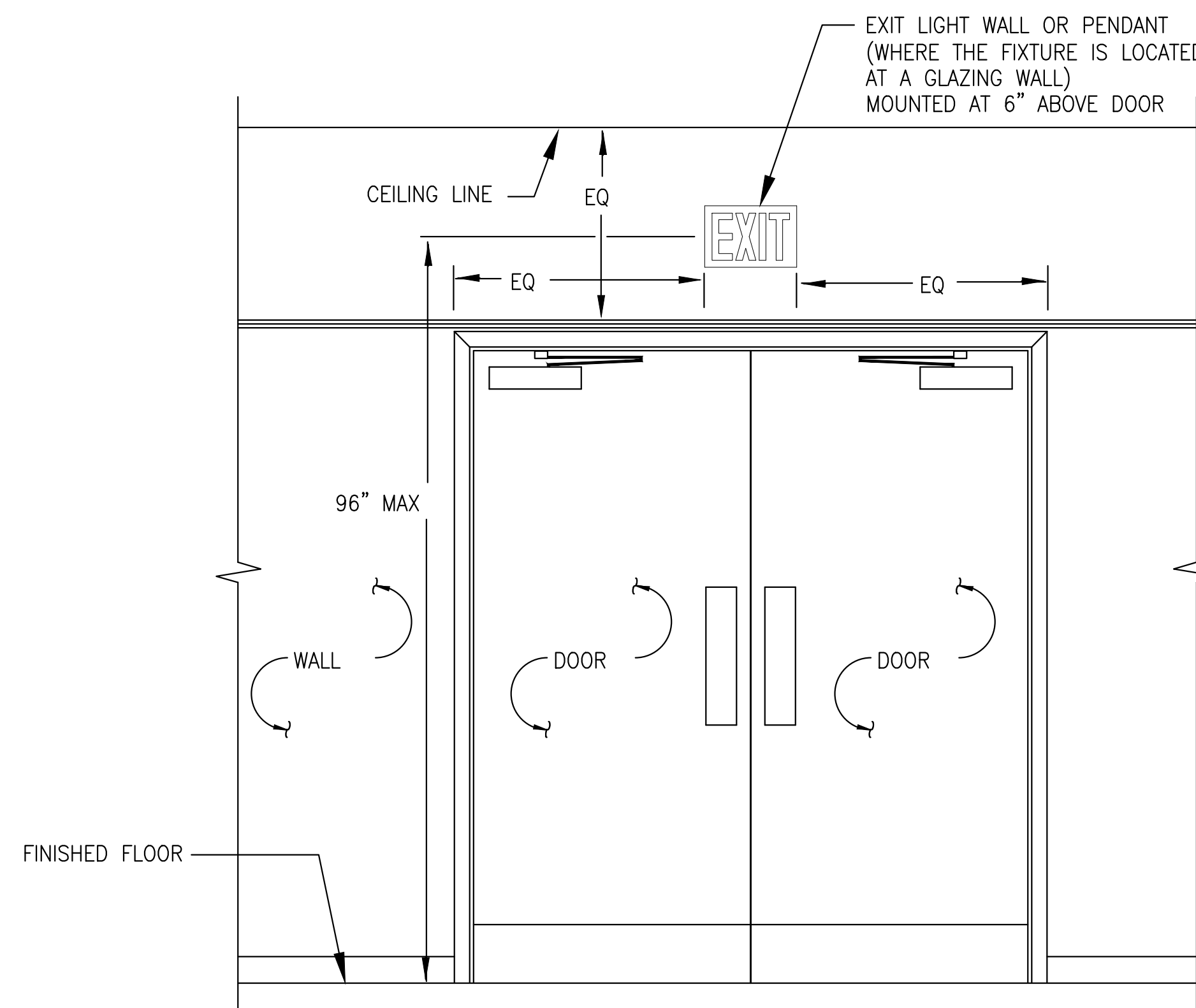
**3** CABLE PATCHWAYS DETAIL  
NOT TO SCALE



**4** HANGER WIRE - TOP CONNECTION  
NOT TO SCALE



**5** RECESSED HARD CEILING FIXTURE MOUNTING  
NOT TO SCALE



**6** EXIT LIGHT FIXTURE  
NOT TO SCALE

### LIGHTING FIXTURE SCHEDULE

MARK	MANUFACTURERS MODEL NO.	LAMPS		TOTAL WATTS	VOLTS	MOUNTING	DESCRIPTION AND REMARKS	DETAIL REF
		QTY.	TYPE					
D	METALUX 22SR-LD2-29-S-UNV-L835-CD1-SVPD1	-	LED 3500K	23.4	MVOLT	RECESSED	2'x2' LED LIGHT FIXTURE	1/E5.02
D1	METALUX 22SR-LD2-29-S-UNV-EL7W-L835-CD1-SVPD1	-	LED 3500K	23.4	MVOLT	RECESSED	SAME AS TYPE "D" EXCEPT WITH EMERGENCY BATTERY PACK.	1/E5.02
D2	METALUX 22SR-LD2-25-C-UNV-L835-CD1-SVPD1	-	LED 3500K	19.6	MVOLT	RECESSED	2'x2' LED LIGHT FIXTURE	1/E5.02
D3	METALUX 22SR-LD2-25-C-UNV-EL14W L835-CD1-SVPD1	-	LED 3500K	19.6	MVOLT	RECESSED	SAME AS TYPE "D2" EXCEPT WITH EMERGENCY BATTERY PACK.	1/E5.02
D4	METALUX 22SR-LD2-25-C-UNV-L835-CD1-SVPD1 DF 22W U	-	LED 3500K	19.6	MVOLT	RECESSED IN HARD CEILING	SAME AS TYPE "D2" EXCEPT WITH MOUNTING IN HARD CEILING	5/E5.02
E	METALUX 24SR-LD2-53-C-UNV-L835-CD1-U	-	LED 3500K	43.1	MVOLT	RECESSED	2'x4' LED LIGHT FIXTURE	1/E5.02
E1	METALUX 24SR-LD2-53-C-UNV-EL7W-L835-CD1-U	-	LED 3500K	43.1	MVOLT	RECESSED	SAME AS TYPE "E" EXCEPT WITH EMERGENCY BATTERY PACK.	1/E5.02
E2	METALUX 24SR-LD2-53-C-UNV-L835-CD1-U-DF-24W-U	-	LED 3500K	43.1	MVOLT	RECESSED IN HARD CEILING	SAME AS TYPE "E" EXCEPT WITH MOUNTING IN HARD CEILING	5/E5.02
E3	METALUX 24SR-LD2-64-S-UNV-L835-CD1-U-DF-24W-U	-	LED 3500K	55.5	MVOLT	RECESSED IN HARD CEILING	SAME AS TYPE "E2" EXCEPT WITH LUMENS OF 6400	5/E5.02
E4	METALUX 24SR-LD2-64-S-UNV-EL7W-L835-CD1-U-DF-24W-U	-	LED 3500K	55.5	MVOLT	RECESSED IN HARD CEILING	SAME AS TYPE "E3" EXCEPT WITH EMERGENCY BATTERY PACK.	5/E5.02
F	PORTFOLIO LD4B 15 D010 EU4B 1020 8035 4LB PS MW	-	LED 3500K	14.3	MVOLT	RECESSED	4" LED DOWNLIGHT FIXTURE WITH CLEAR APERTURE AND SEMI-SPECULAR FINISH.	2/E5.02
F1	PORTFOLIO LD4B 15 D010 EU4B 1020 8035 4LB PS MW E	-	LED 3500K	14.3	277	RECESSED	SAME AS TYPE "F" EXCEPT WITH EMERGENCY BATTERY PACK.	2/E5.02
F2	PORTFOLIO LD4B 15 D010 EU4B 1020 8035 4LB PS MW 1	-	LED 3500K	14.3	277	RECESSED IN HARD CEILING	SAME AS TYPE "F" EXCEPT WITH MOUNTING IN HARD CEILING	5/E5.02
F3	PORTFOLIO LD4B 15 D010 EU4B 1020 8035 4LB PS MW 1 E	-	LED 3500K	14.3	277	RECESSED IN HARD CEILING	SAME AS TYPE "F2" EXCEPT WITH EMERGENCY BATTERY PACK.	5/E5.02
X	ISOLITE EDC-EM-G-1-WH-WH-MTEBP	-	LED 3500K	1	277	UNIVERSAL	LED EXIT LIGHT FIXTURE WITH GREEN LETTERS ON WHITE BACKGROUND.	6/E5.02
X1	ISOLITE EDC-EM-G-1-WH-WH-MTEBP	-	LED 3500K	1	277	UNIVERSAL	SAME AS TYPE "X" LIGHT FIXTURE EXCEPT WITH ARROW SIGN	6/E5.02
X2	ISOLITE DCL-G-1-WH-WH-MTEBP	-	LED 3500K	4.3	277	UNIVERSAL	COMBINATION EXIT/EMERGENCY LIGHT FIXTURE.	6/E5.02

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Key Plan

Project Title

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No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
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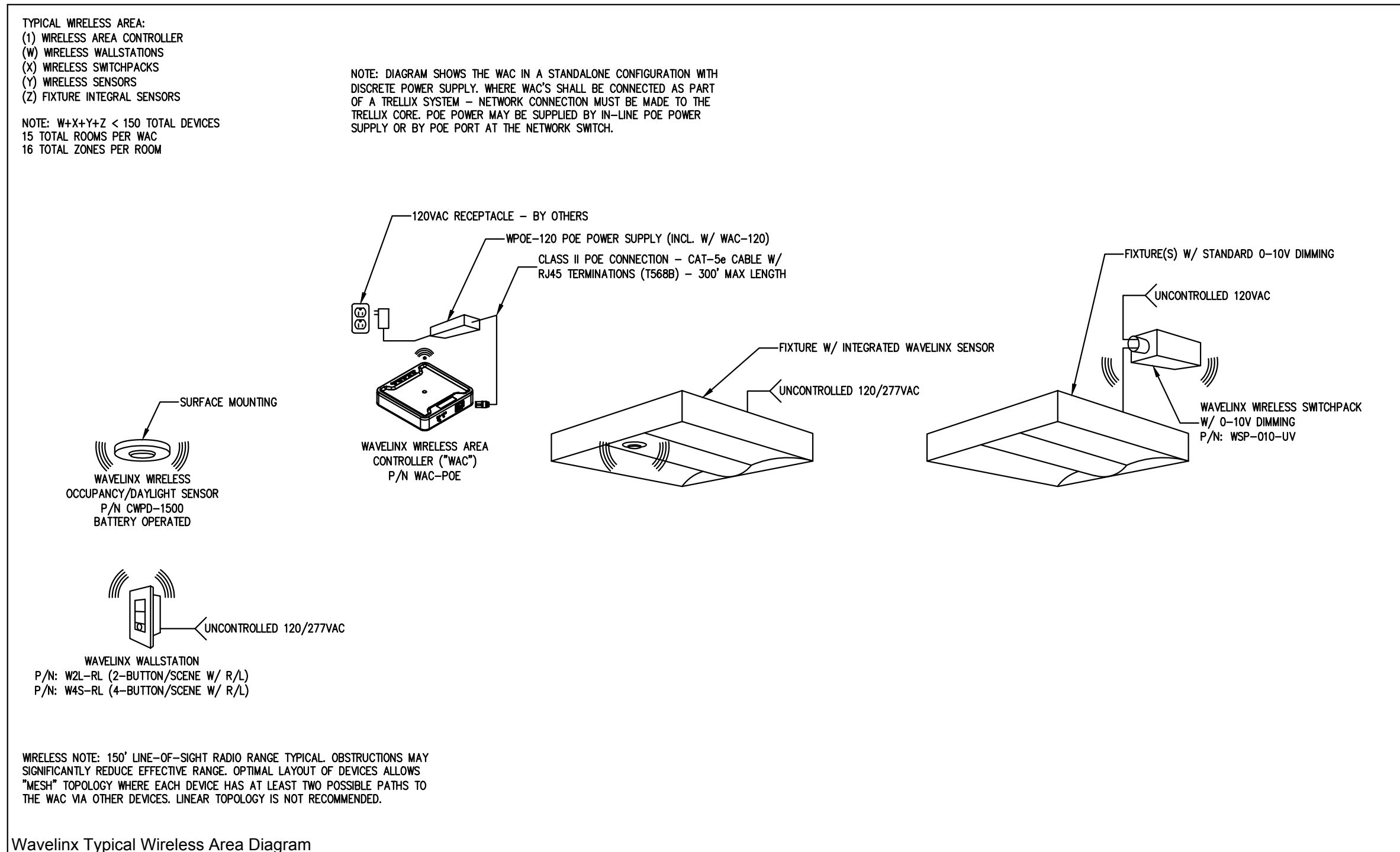
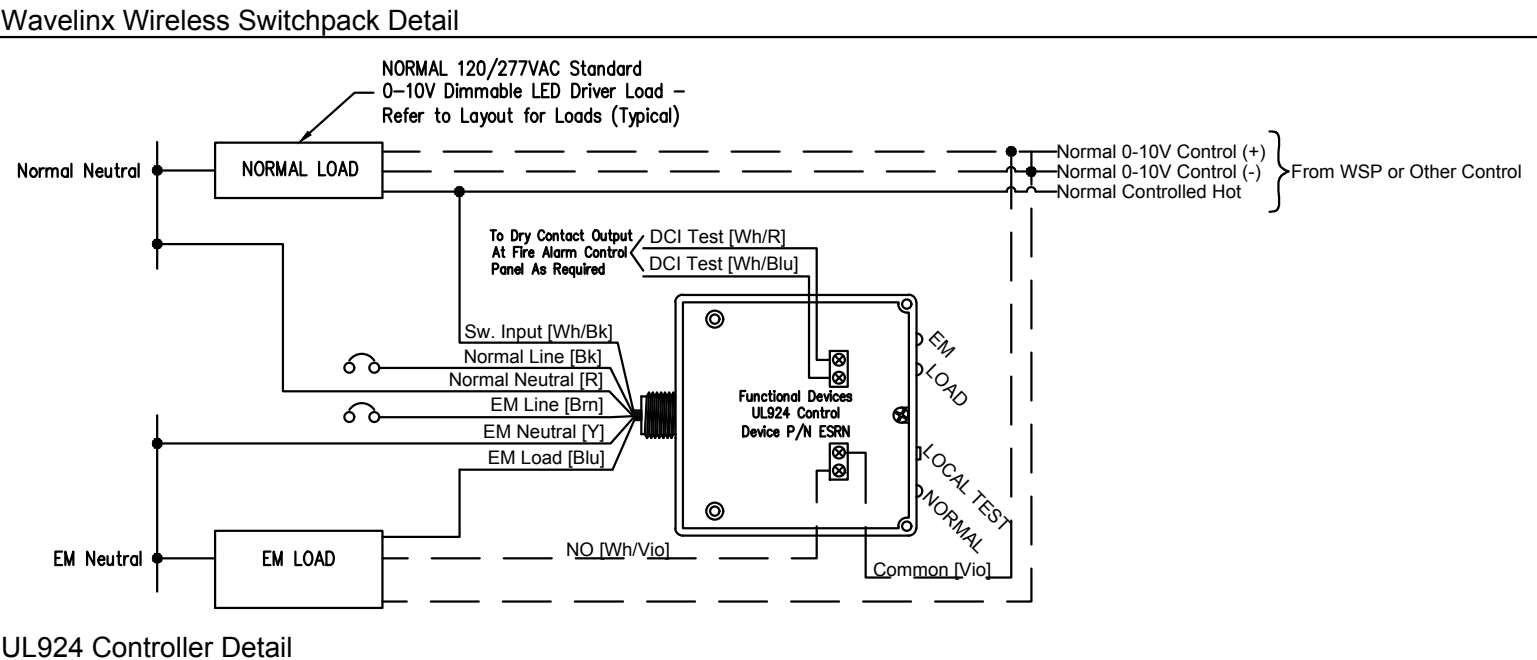
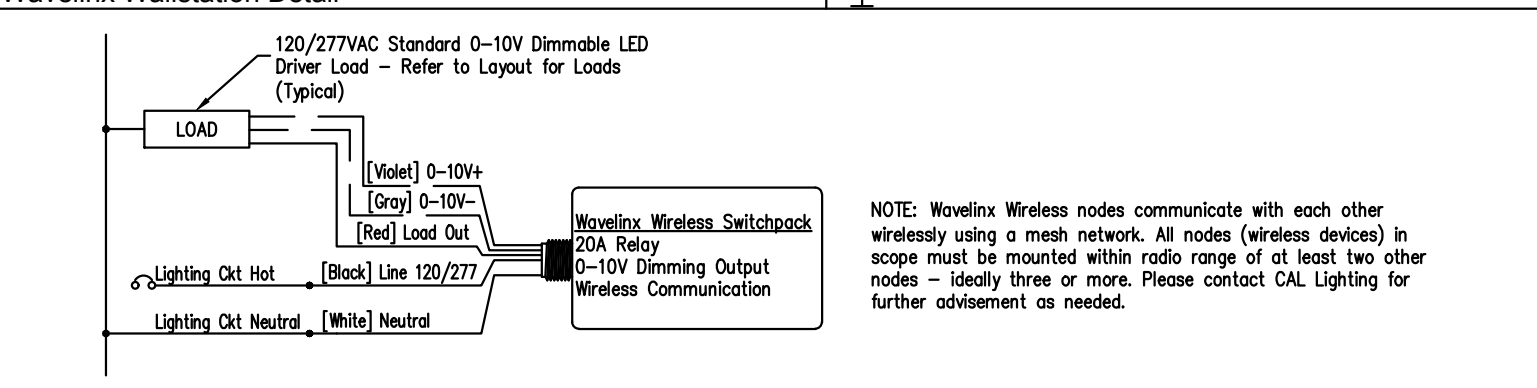
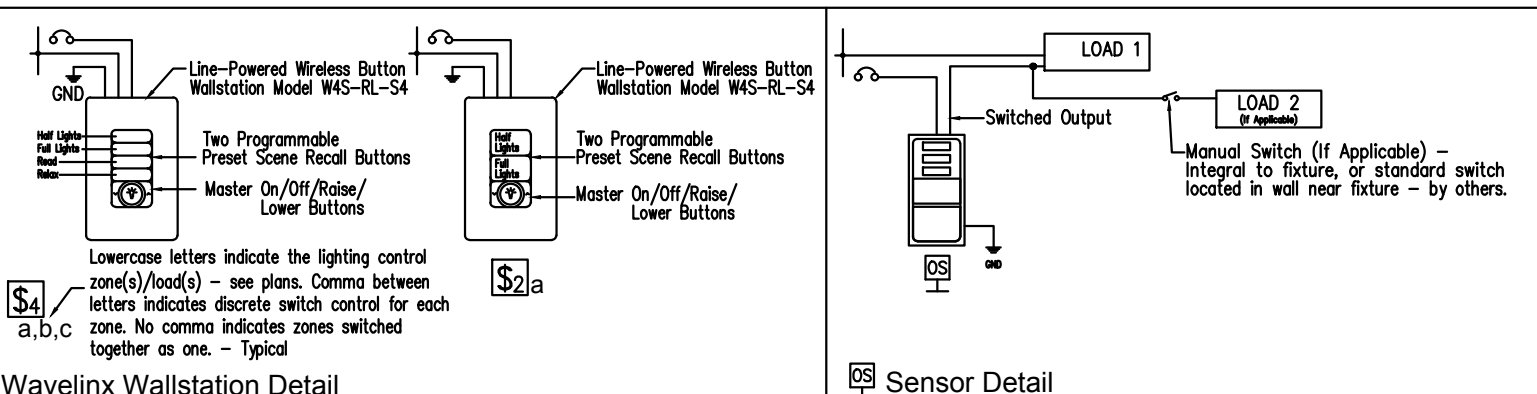
Drawing Title

**SCHEDULE AND DETAILS (INDOOR)**

Architect Seal

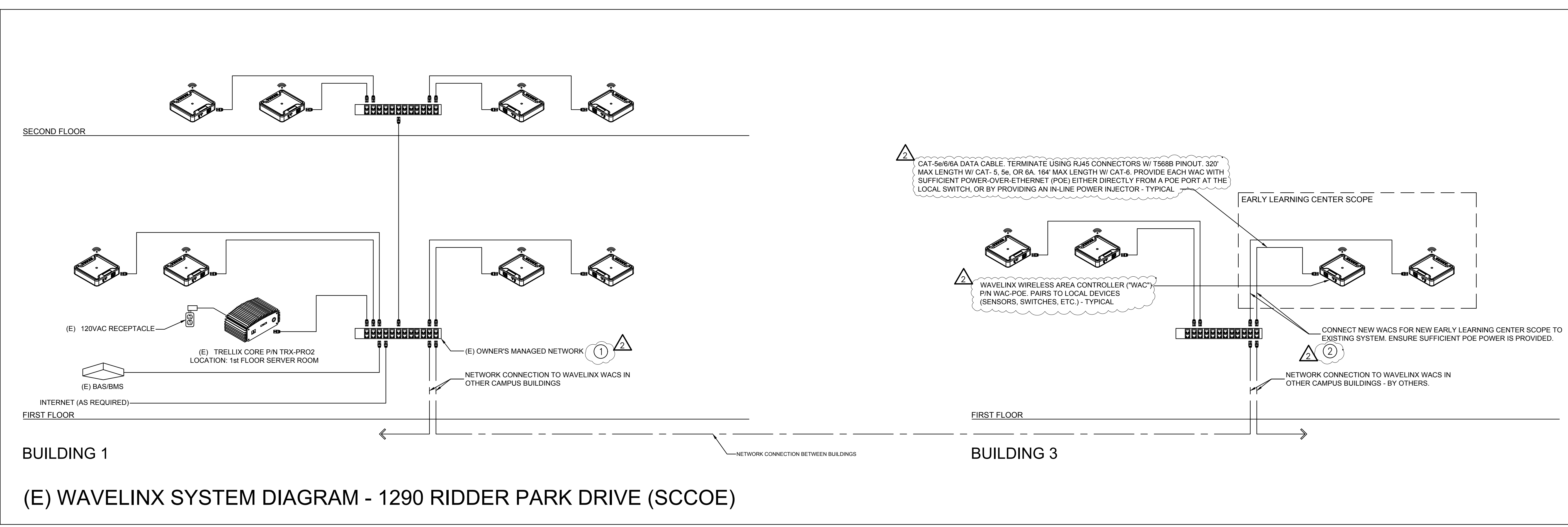
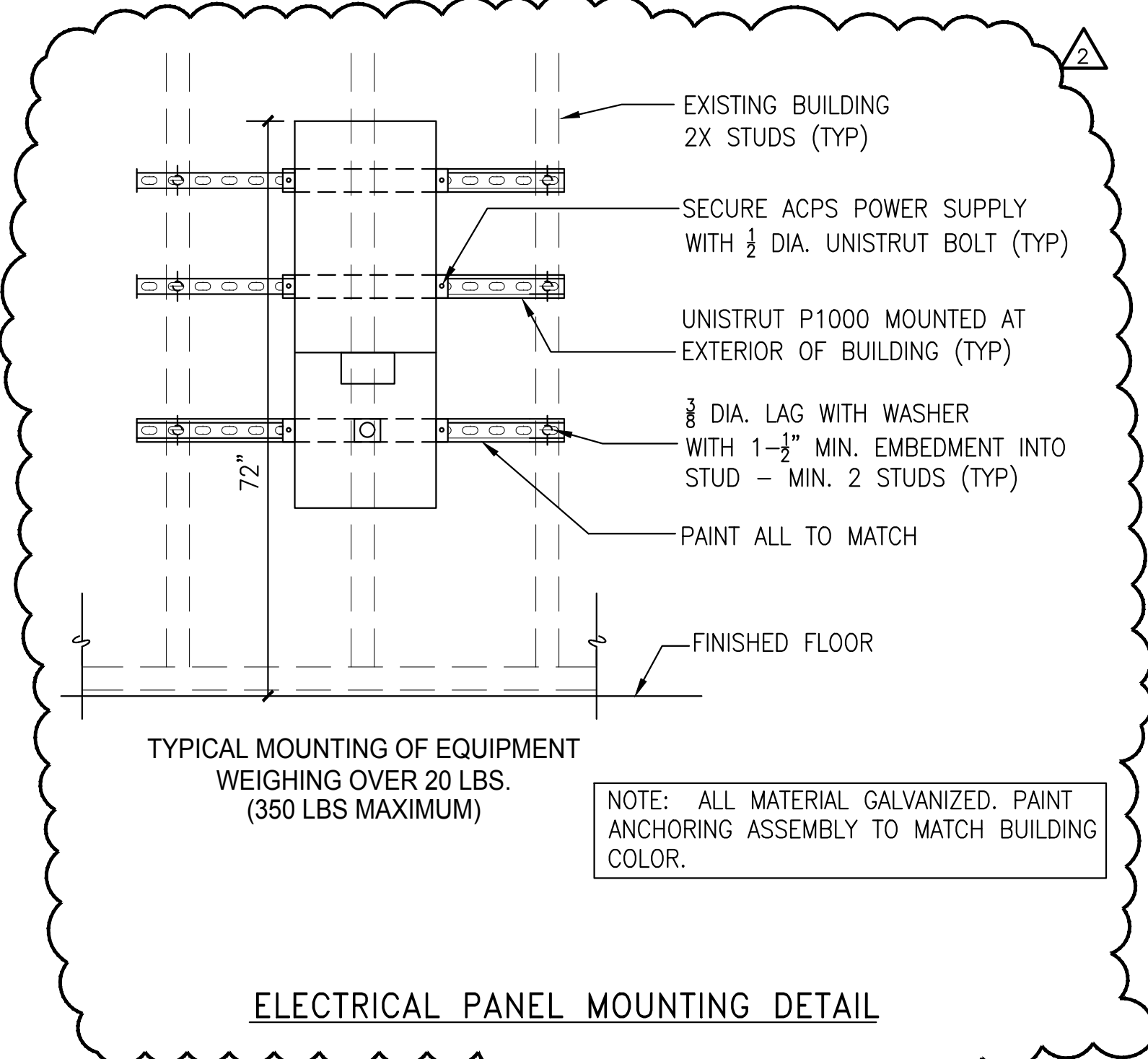
File No.	SP21-032	Drawing No.	<b>E5.02</b>	
Application No.				
Date	12/10/21	Plot Date		12/6/2021 9:29:00 AM
Project Number	06401			

CAL Lighting Controls Schedule				
Symbol	Qty	Manufacturer	Part Number	Description
<b>Wavelinx Wireless</b>				
WSP		Cooper Wavelinx	RSP-P-010-347	Wireless switchpack with 20A relay & 0-10V output - chase-nipple mount.
WSP PL		Cooper Wavelinx	RSP-P-347	Wireless switchpack with 20A relay - chase-nipple mount.
OS, DL		Cooper Wavelinx	CWPD-1500	PIR Occupancy/Daylight Sensor, Ceiling Mount, 360° 1500 SqFt Coverage
S2a		Cooper Wavelinx	W2L-RL-S2-W	Wireless 2 Button large, field programmable (RAISE/LOWER) wallstation.
S4a,b,c		Cooper Wavelinx	W4S-RL-S4-W	Wireless 4 Button small, field programmable (RAISE/LOWER) wallstation.
WAC		Cooper Wavelinx	WAC-POE	Wireless Area Controller - Controls up to 150 devices in up to 15 areas(rooms).
<b>Standard Controls</b>				
CSL a		Cooper Greengate	ONW-D-1001-DMV-W	Dual-Tech Wall Switch Occupancy Sensor, 180° Coverage, 120/277 VAC, 50/60 Hz, White
ESRN		Functional Devices	ESRN	UL924 Controller w/ Aux Relay for 0-10V & Switch Sense - Chase-Nipple Mount - 120/277 VAC 50/60Hz



**SHEET NOTES:**

- REPROGRAM AS REQUIRED TO ADD THE LIGHTING SYSTEM ADDED IN THE NEW LEARNING CENTER, COORDINATE WITH THE DISTRICT.
- COORDINATE WITH THE DATA NETWORK CONTRACTOR.



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**Key Plan**

**Project Title**

**SCCOE EARLY LEARNING CENTER**

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**SANTA CLARA COUNTY OFFICE OF EDUCATION**

No.	Description	Date
△	ISSUED FOR PERMIT	05/03/22
△	ADDENDUM 1	07/18/23

**Drawing Title**

**LIGHTING CONTROL WIRING DIAGRAM**

<b>File No.</b>	SP21-032	<b>Drawing No.</b>	E5.03
<b>Application No.</b>		<b>Date</b>	12/10/21
<b>Date</b>	12/10/21	<b>Project Number</b>	06401

GENERAL NOTES

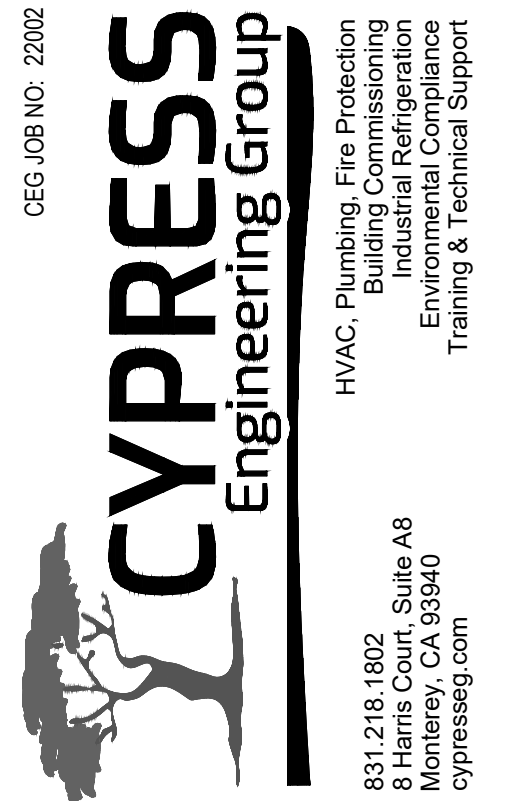
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW BUILDING STRUCTURES, SERVICES AND OWNER'S PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- COORDINATE THE LOCATIONS OF OPENINGS, PENETRATIONS, PIPING, AND EQUIPMENT WITH RESPECT TO BUILDING STRUCTURE AND OTHER BUILDING SERVICES TO AVOID CONFLICT.
- INFORMATION SHOWN IS BASED ON AVAILABLE AS-BUILTS AND THE LOCATION OF ALL EQUIPMENT, DUCT, PENETRATIONS, PIPING, AND OTHER PROJECTIONS SHOWN ON THE PLANS IS APPROXIMATE. NOT ALL EXISTING ITEMS ARE IDENTIFIED OR SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS, INCLUDING ALL RELEVANT DIMENSIONS, EQUIPMENT COUNTS, AND LOCATIONS PRIOR TO SUBMITTING A BID.
- CONTRACTOR SHALL PROVIDE PERMIT SHOP DRAWINGS FOR APPROVAL BY CITY OF SAN JOSE

Regulatory Agency Approval



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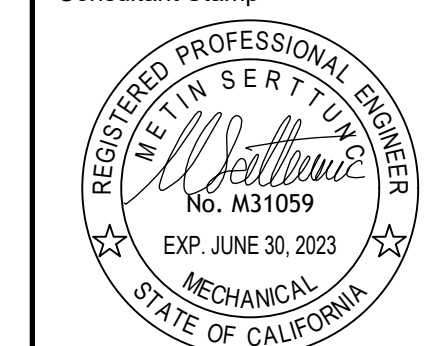
1290 Ridder Park Dr,  
San Jose

No	Revisions/Submissions	Date
1	BUILDING RESUBMITTAL #1	2022.10.26
2	BID ADDENDA	2023.03.07

Drawing Title

FLOOR PLAN - FIRE PROTECTION

Consultant Stamp



File Number

Drawing No

Application Number

FP2.1

Project No.

